



CITY OF BARABOO COMMON COUNCIL AGENDA

Tuesday, May 14, 2024, 7:00 p.m.

Council Chambers, 101 South Blvd., Baraboo, Wisconsin

	Pages
1. CALL TO ORDER	
2. ROLL CALL AND PLEDGE OF ALLEGIANCE	
3. APPROVAL OF PREVIOUS MINUTES (Voice Vote) April 16th & April 23rd, 2024	4
4. APPROVAL OF AGENDA (Voice Vote)	
5. COMPLIANCE WITH OPEN MEETING LAW NOTED	
6. PRESENTATIONS The Baraboo Economic Development Commission (BEDC) will present an annual update.	
7. PUBLIC HEARINGS <i>None Scheduled.</i>	
8. PUBLIC INVITED TO SPEAK <i>(Any citizen has the right to speak on any item of business that is on the agenda for Council action if recognized by the presiding officer.)</i>	
9. MAYOR'S BUSINESS <ul style="list-style-type: none">The Mayor would like to congratulate the following employees:<ul style="list-style-type: none">*Mark Lee, 25th anniversary, and Nate Lund, 15th anniversary, with the Baraboo Police Department, and:*Bryan Schwarz on his 15th anniversary with the Baraboo Water Utility Department, and;*Jeff Nachtigal on his 10th anniversary with the Baraboo Public Works DepartmentThe Mayor will read the the following Proclamations:<ul style="list-style-type: none">*Recognizing National Public Works Week, May 19-25, 2024.*Recognizing Wastewater Professionals Appreciation Day, May 22, 2024	
10. CONSENT AGENDA <i>(Roll Call)</i>	
10.1 Accounts Payable Approve the Accounts Payable to be paid in the amount of \$	18
10.2 Appointments Approve the appointment of Donna Baker to the CDA and Paige Kramer to fill the unexpired term of Brenden McDaniel on the Business Improvement	19

District (BID) Board.

11. ORDINANCES ON 2nd READING

- 11.1 Specific Implementation Plan for Baraboo Bluffs Estates 20
Consider amending Section 17.18(4)(d) of the City Code of Ordinances approving the Specific Implementation Plan for Phase 1 of Baraboo Bluffs Estates as part of the Planned Unit Development.

12. NEW BUSINESS- RESOLUTIONS

- 12.1 Sanitary Sewer Lining Project 64
Consider accepting the amended quote from Visu-Sewer for the sanitary sewer Cast-In-Place Pipe (CIPP) project. (Peterson)
- 12.2 Rehabilitation Agreement, Well No. 6 66
Consider authorizing the Utility Superintendent to sign an agreement with Water Well Solutions in the amount of \$58,565 for rehabilitation of Well No. 6. (Peterson)
- 12.3 Fire Equipment Replacement Fund 69
Consider authorizing the Mayor and City Clerk to execute an agreement with the Baraboo Area Fire & EMS District to fund the Fire Equipment Replacement fund. (Cannon)
- 12.4 Baraboo Bluffs Estates, Final Plat 74
Consider approving the Final Plat for Phase 1 of Baraboo Bluffs Estates, a proposed 10-Lot, 3.34-acre Subdivision Plat (Appendix F of the Baraboo Bluffs Estates SIP), being a part of Certified Survey Map No. 7231, located in the S½ of Section 2, T11N, R6E, City of Baraboo, Sauk County, Wisconsin. (Pinion)
- 12.5 Official Fee Schedule, Utility Charges 76
Consider revising the City's Official Fee Schedule for specific utility fees. (Pinion)
- 12.6 Appraisal Services 77
Consider authorizing the Interim-City Administrators to sign the Appraisal Engagement Letter with The Nicholson Group, LLC for appraisal services for the Wal-Mart property, 920 Hwy 12. (Cannon)

13. NEW BUSINESS ORDINANCES

- 13.1 Amend Section 7.09, Parking Restrictions 81
Consider amending §7.09(3)(e) relating to parking restriction on the north side of 4th Avenue from Birch Street to Broadway. (Pinion)
- 13.2 Revise Section 7.02, Official Traffic Map 83
Consider revising §7.02(2)(b)2, the Official Traffic Map, to provide for two parking stalls to be used by persons with a disability that limits or impairs the ability to walk in front of the Carnegie-Schadde Memorial Public Library at 230 4th Avenue. (Pinion)

14. COMMITTEE OF THE WHOLE

Moved by _____, seconded by _____, to enter Committee of the Whole to discuss the following:

- Future budget years 2025-2030 and a possible operating referendum.
- Consider Reorganization of the Parks, Recreation, & Forestry Department

Moved by _____, seconded by _____, to rise and report from Committee of the Whole and return to regular session. *(Roll Call)*

15. ADMINISTRATOR AND COUNCIL COMMENTS

(Comments are limited to recognition of City residents and employees, memorials, and non-political community events; discussion of matters related to government business is prohibited.)

16. REPORTS, PETITIONS, AND CORRESPONDENCE

84

The City acknowledges receipt and distribution of the following:

Reports: April, 2024 Treasurer & Building Inspection

Copies of meeting minutes included in this packet:

Finance.....3-26-2024

Administrative.....4-2-2024

Public Safety.....3-25-2024

17. CLOSED SESSION

Moved by _____, seconded by _____, to go into Closed Session. The Mayor will announce that the Council will consider moving into Closed Session pursuant to

- §19.85(1)(c), Wis. Stat., to consider employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility, specifically a discussion of City Administrator applicants and updating the interview timeline, and a discussion of potential changes to employee duties, supervision and compensation due to a potential organizational change to the Parks, Recreation and Forestry Department and,
- §19.85(1)(g), Wis. Stat., confer with legal counsel who is rendering oral or written advice concerning strategy to be adopted with respect to litigation in which the governmental body is likely to become involved, specifically relating to performance issues with the Spirit Lake Roadway and Utilities project.

18. OPEN SESSION

Moved by _____, seconded by _____, to return to Open Session. The Mayor will announce that the Council will return to Open Session as per §19.85(2), Wis. Stats., to address any business that may be the result of discussions conducted in Closed Session.

19. ADJOURNMENT (Voice Vote)

PLEASE TAKE NOTICE- Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires the meeting or materials at the meeting to be in an accessible location or format should contact the City Clerk at 101 South Blvd., Baraboo WI or phone (608) 355-2700 during regular business hours at least 48 hours before the meeting so reasonable arrangements can be made to accommodate each request.

Common Council Meeting Minutes**April 16, 2024, 5:00 p.m.****Council Chambers, 101 South Blvd., Baraboo, Wisconsin**

Members Present: Olson, Kolb, Hazard, Kent, Ellington, Sloan, Kierzek, Thurow
Members Absent: Petty
Others Present: Interim City Administrators P. Cannon & T. Pinion, Clerk Zeman, S. Hause, A. Lombard, members of the press and others.

1. CALL TO ORDER

Mayor Nelson called the meeting to order at 5:00pm.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was given.

3. APPROVAL OF AGENDA

Moved by: Ellington

Seconded by: Kolb

Motion: CARRIED

4. COMPLIANCE WITH OPEN MEETING LAW NOTED**5. OATHS OF OFFICE**

Clerk Zeman administered the Oath of Office to Mayor Nelson and Alderpersons Hause, Lombard, and Kierzek.

6. Public Invited to Speak

No one spoke.

7. Election by Common Council**Council President**

Motion by Kierzek, seconded by Kent to nominate Scott Sloan for Council President. No other nominations were made and the Mayor declared the nominations closed. Ald. Sloan was declared the Council President.

Plan Commission

Motion by Kierzek, seconded by Sloan to nominate Jason Kent and David Olson to the Plan Commission. Motion by Sloan, seconded by Ellington and carried unanimously to close nominations. Ald Kent and Ald Olson are elected to serve on the Plan Commission.

8. Mayoral Appointment

The Mayor announced the appointments to the Standing Committees of Council, the Board of Review, Plan Commission, and the US Campus Commission.

a) Standing Committees: The first person listed is the Chairperson of the Committee.

Finance/Personnel: Scott Sloan, Jason Kent, Heather Kierzek

Public Safety: Ellington, Hause, Olson

Administrative: Thurow, Hazard, Lombard

b) Board of Review

Andrea Lombard, Kathleen Thurow, and David Olson serving until April 15, 2025. The other six members are appointed as alternates.

c) Plan Commission

Thomas Kolb serving until April 30, 2027

d) UW Campus Commission

Scott Sloan and Steve Hause serving until April 15, 2025 and Cheryl Giese, citizen seat, serving until June 1, 2024.

9. Consent Agenda

Moved By Sloan

Seconded By Ellington

Resolution No: 2024-58

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Baraboo State Bank qualifies as a public depository under Chapter 34 of the Wisconsin Statutes, and is hereby designated as a depository in which funds of this municipality may, from time to time, be deposited; that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required	
		Signatures	Authorized Persons
Payment Account	101064029	1	Treasurer
Alma Waite Trust Fund NOW	104502957	2	Clerk and Treasurer
Library Segregated Fund	104551192	2	Clerk and Treasurer
Park Dept. House	101001035	2	Clerk and Treasurer
General NOW	101149830	2	Clerk and Treasurer
General Insured Cash Sweep	101066015	2	Clerk and Treasurer
Parks & Recreation Board NOW	101000888	2	Clerk and Treasurer
Water Utility NOW	101153201	2	Clerk and Treasurer
Sewer Utility NOW	104550099	2	Clerk and Treasurer
Sewer Debt Service NOW	104506359	2	Clerk and Treasurer
Sewer Equipment Replacement NOW	104522281	2	Clerk and Treasurer
Stormwater Equipment Replacement	104565819	2	Clerk and Treasurer
Friends of the Library	103035891	2	Clerk and Treasurer
CDBG Grants	101146394	2	Clerk and Treasurer
General Fund-Bond Issue	104557859	2	Clerk and Treasurer
CDA Block Grant Escrow	101000950	2	Director and Commissioner
Low Rent Checking	101000829	2	Director and Commissioner
Donahue Terrace Checking	101000683	2	Director and Commissioner
Capital Catalyst	101155891	2	Director and Commissioner
Facade Project Fund	101006473	2	Director and Commissioner
CS Security Deposit Money Market	104523946	2	Director and Commissioner
DT Security Deposit Money Market	104523385	2	Director and Commissioner
DTA Premier Money Market	104547551	2	Director and Commissioner
PS/Admin Building	101xx4985	2	Director and Commissioner
Library Remodel & Expansion Project	101xx9375	2	Director and Commissioner
Fire Building Construction	101xx0500	2	Director and Commissioner

BE IT FURTHER RESOLVED that the persons and the number thereof, designated by title below, be authorized for and on behalf of this municipality to sign drafts and order checks as provided in Section 66.0607 of the Wisconsin Statutes for payment or withdrawal of money from the following accounts:

Name or Type of Account	Account #	# of Required	
		Signatures	Authorized Persons
General Fund Account	101000306	2	Mayor, Clerk and Treasurer
Utilities Account NOW	101000292	2	Mayor, Clerk and Treasurer
CDA Disbursement	101153805	2	Director and Commissioner

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques,

including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-59

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Community First Bank qualifies as a public depository under Chapter 34 of the Wisconsin Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited; that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required Signatures	Authorized Persons
General Fund Money Market	86190136	2	Clerk and Treasurer
CDBG Money Market	86142136	2	Director and Commissioner
ED Revolving Loan	86186300	2	Director and Commissioner
LRPH Money Market	86147236	2	Director and Commissioner

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-60

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Summit Credit Union qualifies as a public depository under Chapter 34 of the Wisconsin State Statutes and is hereby designated as a depository in which funds of the city of Baraboo may from time to time be deposited, that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required Signatures	Authorized Persons
Utility Money Market	14890100-0070	2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Summit Credit Union.

Resolution No: 2024-61

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Local Government Investment Pool qualifies as a public depository under Chapter 34 of the Wisconsin Statutes, is hereby designated as a depository in which funds of this municipality may, from time to time, be deposited; that the following described account be opened and maintained in the name of this municipality with the Local Government Investment Pool; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required	Authorized Persons
		Signatures	
Local Government Investment Pool Depositor	856206	1	Treasurer
Local Government Investment Pool Depositor	875004	1	CDA Director

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written transfer order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Pool.

Resolution No: 2024-62

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Citizens Community Federal Bank qualifies as a public depository under Chapter 34 of the Wisconsin Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited; that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required	Authorized Persons
		Signatures	
General Fund Money Market	20032292	2	Clerk and Treasurer
Sewer Depreciation Fund	20083858	2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-63

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Bank of Prairie du Sac qualifies as a public depository under Chapter 34 of the Wisconsin Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited; that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required	Authorized Persons
		Signatures	
General Fund	471582	2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-64

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Bank of Wisconsin Dells qualifies as a public depository under Chapter 34 of the Wisconsin Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited; that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

<u>Name or Type of Account</u>	<u>Account #</u>	<u># of Required Signatures</u>	<u>Authorized Persons</u>
General Fund Money Market	163563	2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-65

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the US Treasury qualifies as a public depository under Chapter 34 of the Wisconsin Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited; that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

<u>Name or Type of Account</u>	<u>Account #</u>	<u># of Required Signatures</u>	<u>Authorized Persons</u>
General Fund	City 57206	2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Treasury.

Resolution No: 2024-66

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Prevail Bank qualifies as a public depository under Chapter 34 of the Wisconsin State Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited, that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required Signatures	Authorized Persons
General Fund	10080968	2	Clerk and Treasurer
General Insured Cash Sweep		2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Prevail Bank.

Resolution No: 2024-67

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Westby Cooperative Credit Union qualifies as a public depository under Chapter 34 of the Wisconsin State Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited, that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required Signatures	Authorized Persons
General Fund	54962-07	2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Westby Co-operative Credit Union.

Resolution No: 2024-68

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the US Bank National Associates qualifies as a public depository under Chapter 34 of the Wisconsin State Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited, that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

Name or Type of Account	Account #	# of Required Signatures	Authorized Persons
FICA Account		2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-69

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Charles Schwab and Company, qualifies as a public depository under Chapter 34 of the Wisconsin State Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited, that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

<u>Name or Type of Account</u>	<u>Account #</u>	<u># of Required Signatures</u>	<u>Authorized Persons</u>
Schwab One Brokerage account Advisors	3694-7092	1	Clerk, Treasurer or Dana Investment

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-70

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the BMO Harris Bank qualifies as a public depository under Chapter 34 of the Wisconsin State Statutes and is hereby designated as a depository in which funds of the City of Baraboo may from time to time be deposited, that the following described accounts have been opened and maintained in the name of this municipality with the bank; that the persons and the number thereof designated by title below be authorized for and on behalf of the municipality to sign drafts or order checks as provided by Section 66.0607 of the Wisconsin Statutes, for payment or withdrawal of money from said accounts:

<u>Name or Type of Account</u>	<u>Account #</u>	<u># of Required Signatures</u>	<u>Authorized Persons</u>
General Fund	2061232	2	Clerk and Treasurer

BE IT FURTHER RESOLVED that withdrawals from savings or time deposits shall be by written order pursuant to 66.0607(3) of the Wisconsin Statutes and each transfer order shall be signed by the Clerk and Treasurer, provided, however, in lieu of personal signatures of the Clerk and Treasurer, the facsimile signature adopted by the person and approved by this Council may be affixed to the transfer order; that pursuant to 66.0607(3m) the use of money transfer techniques, including electronic funds transfers and automatic clearinghouse methods, may be used and that the Treasurer shall keep a record of date, payee and amount of such transactions.

BE IT FURTHER RESOLVED that a certified copy of this resolution shall be delivered to the Bank.

Resolution No: 2024-71

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the following facsimile signatures of the Mayor, Clerk, and Treasurer are hereby approved.

Resolution No: 2024-72

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Baraboo News Republic be declared the official City newspaper.

Carried

10. Appointed by the Mayor, Confirmed by the Council

Motion by Sloan, seconded by Ellington and carried unanimously that the Mayor's appointments be voted on as a slate rather than individually, provided that the right to vote separately on any individual appointment is reserved if any Council member so requests.

Moved by Ellington, seconded by Sloan and carried unanimously to approve the slate of appointments as requested by the Mayor:

Administrative Review Appeals

David Olson	Aldersperson	<u>Steve Hause</u>	4/15/2025
Kathryn Koehl	Citizen	<u>Kathryn Koehl</u>	4/30/2027

BEDC

Rob Nelson	Mayor	<u>Rob Nelson</u>	4/15/2025
Jason Kent	Aldersperson	<u>Jason Kent</u>	4/15/2025
Elizabeth Persche	Citizen	<u>Nicole Kruschel</u>	2/28/2027

Business Improvement District

Kathleen Thurow	Aldersperson	<u>John Ellington</u>	4/15/2025
Michelle Miller	Business Owner	<u>Carley Mercado</u>	4/30/2027
Sarah Fay	Business Owner	<u>Sarah Fay</u>	4/30/2027
Lacey Steffes	Business Owner	<u>Lacey Steffes</u>	4/30/2027

Community Development Authority

Joel Petty	Aldersperson	<u>Kathleen Thurow</u>	4/15/2025
Bryant Hazard	Aldersperson	<u>Bryant Hazard</u>	4/15/2025

Ethics Board

Elizabeth Mowers	Citizen	<u>Elizabeth Mowers</u>	4/30/2027
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Park and Recreation Comm.

Heather Kierzek	Aldersperson	<u>Heather Kierzek</u>	4/15/2025
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Weed Commissioner

John Statz	CSO	<u>John Statz</u>	4/15/2025
Douglas Thola	CSO	<u>Douglas Thola</u>	4/15/2025

Zoning Board of Appeals

Misty Muter	Citizen	<u>Riley Garcia</u>	4/30/2027
David Kehoe	Alternate #1	<u>Misty Muter</u>	4/30/2027

11. ADJOURNMENT (Voice Vote)

Moved by: Kent

Seconded by: Hazard

That the meeting adjourn at 5:12pm.

Motion: CARRIED

Brenda M. Zeman, City Clerk

Common Council Meeting Minutes**April 23, 2024, 7:00 p.m.****Council Chambers, 101 South Blvd., Baraboo, Wisconsin**

Members Present: Olson, Hause, Hazard, Kent, Lombard, Ellington, Sloan, Kierzek, Thurow

Members Absent:

Others Present: Interim City Administrator P. Cannon & T. Pinion, Chief Sinden, Clerk Zeman, J. Ostrander, members of the press and others.

1. CALL TO ORDER

Mayor Nelson called the meeting to order at 7:00pm.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was given.

3. APPROVAL OF PREVIOUS MINUTES

Moved by: Ellington

Seconded by: Kent

Motion: CARRIED**4. APPROVAL OF AGENDA (Voice Vote)**

Moved by: Hazard

Seconded by: Kent

Motion: CARRIED**5. COMPLIANCE WITH OPEN MEETING LAW NOTED****6. PRESENTATIONS***None Scheduled.***7. PUBLIC HEARINGS***None Scheduled.***8. PUBLIC INVITED TO SPEAK**

Robert Spencer, E10616 Terrytown Rd, spoke in favor of the ATV/UTV ordinance. He thanked the Council for listening to what they have presented and the work from the Public Safety Committee. He would like to see this last vote support the use of ATV/UTV's within the City to support the local businesses.

Mark Zweifel, 1024 6th Street, spoke in favor of the ATV/UTV ordinance. He lives in the City of Baraboo and would love to be able to drive his UTV to work and support the local businesses of Baraboo. Keep supporting this ordinance.

Scott Thomas, 309 6th Avenue, spoke against allowing ATV/UTV's within the City. He does not feel these machines are appropriate within the City. For those who live in downtown Baraboo they have noticed an increase in noise, congestion, and traffic; this will add to this. He is also concerned with lack of parking in downtown Baraboo. He has spoken with the residents in surrounding communities that currently allow UTV's and they agree, it does bring an influx of money but this tends to trail off and they become a travel through destination to spend their money elsewhere. The main complaint in these other communities is noise. The residents that live in Baraboo will take care of Baraboo, the concern is the people coming into Baraboo with no true vested interest in Baraboo. If this must have, open this up to a route and see how that goes before all streets are accessible.

Dianne Hansen, 1319 15th Street, spoke in favor of the ATV/UTV ordinance. She touched on part of the social aspects of ATV/UTV's and the avenue of friendship and opportunities that become available. She is asking that Baraboo open all streets and make it a destination city for ATV/UTV's.

Daniel Fleming, E8356 County Rd. H, spoke in favor of the ATV/UTV ordinance. He is the president of the Sauk Ridge Runners ATV club and they have heard very positive things regarding the support they bring to the small businesses within surrounding municipalities. He noted that as long as the streets are a designated "route", ATV's/UTV/s can be driven on them.

9. MAYOR'S BUSINESS

- The reappointment of Joanna Hollenback to the Police Commission, serving until 4/30/2029
- The Mayor congratulated the following employees* Brendon Meyer & Ian Carroll on their 5th anniversary with the Baraboo Police Department, and,* Ron Messer on his 25th anniversary with the Public Works Department Congratulations to you all!
- May 5th through May 11th, 2024 is the Annual Professional Municipal Clerks week.
- The Friends of the Campus Foundation has announced their 2024-25 BaraBoost scholarship will be \$2,000 for all new full-time students at the UW Platteville Baraboo/Sauk County campus.

10. CONSENT AGENDA (Roll Call)

Moved by: Sloan

Seconded by: Ellington

Motion: CARRIED (9 to 0)

10.1 Accounts Payable

Resolution No: 2024-73

THAT the Accounts Payable, in the amount of \$867,030.01 as recommended for payment by the Finance/Personnel Committee, be allowed and ordered paid.

11. ORDINANCES ON 2nd READING

11.1 Create Section 7.165, All-Terrain/Utility Terrain Vehicles

Moved by: Ellington

Seconded by: Thurow

Motion to approve the 2nd reading of **Ordinance No. 2629** adding Section 7.165, All Terrain/Utility Vehicles, in the City of Baraboo Codebook.

Against (1): Sloan

Motion: CARRIED (8 to 1)

12. NEW BUSINESS- RESOLUTIONS

12.1 Appointment of Interim Parks, Recreation & Forestry Director

Resolution No: 2024-74

Moved by: Kent

Seconded by: Sloan

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Baraboo, Sauk County, Wisconsin, that:

That the City of Baraboo appoints Ryan Daum to serve as the Interim Director of the Parks, Recreation and Forestry Department. Ryan Daum will receive additional compensation of 5% retroactive to April 15, 2024.

Motion: CARRIED (9 to 0)

12.2 Sale of Refuse & Recycling Collection Equipment

Resolution No: 2024-75

Moved by: Thurow

Seconded by: Hazard

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the sale price of \$237,000 for the following refuse and recyclable collection equipment be approved:

- The 2011 Labrie 31 Cu Yd Helping Hand hopper on a Mack Chassis to Town & Country Sanitation, Inc for \$36,000;

- The 2012 Labrie 33 Cu Yd Expert 2000 hopper on an Autocar Chassis to Town & Country Sanitation, Inc for \$36,000; and
- The 2019 Labrie 33 Cu Yd Expert 2000 hopper on an Autocar Chassis to Peterson Sanitation, Inc. a division of Town & Country Sanitation, Inc for \$165,000.

Motion: CARRIED (9 to 0)

12.3 Special Assessment

Resolution No: 2024-76

Moved by: Sloan

Seconded by: Ellington

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

1. The Common Council hereby declares its intention to exercise its police power under Section 66.0703, Wis. Stats., to levy special assessments upon property in the assessment districts hereafter described for benefits conferred upon such property by reason of the following public work and improvements: 2024 Street Improvement Projects.
2. The property to be assessed lies within the following described assessment district:

ASSESSMENT DISTRICTS

New Sidewalk – That property on:

- Waldo Street (between Parkside Dr & Haeger St) -approximately 3,150 sq ft.

New Curb & Gutter – That property on:

- Sauk Avenue (between Hitchcock St & Moore St) – approximately 1,100 feet.
- Waldo Street (between Parkside Dr & Haeger St) -approximately 2,000 feet.

3. The total amount assessed against the properties in the described assessment district shall not exceed the total cost of the improvements.
4. The City Council determines that the improvements constitute an exercise of the police power for the health, safety and general welfare of the municipality and its inhabitants.
5. The City Engineer shall prepare a report which shall consist of:
 - Final plans and specifications for the improvements.
 - An estimate of the entire cost of the proposed improvements.
 - A schedule of proposed assessments.
6. When the report is completed, the City Engineer shall file a copy of the report with the City Clerk for public inspection.
7. Upon receiving the report of the City Engineer, the Clerk or her designee shall cause notice to be given stating the nature of the proposed improvements, the general boundary lines of the proposed Assessment District, the time and place at which the report may be inspected, and the time and place of the public hearing on the matters contained in the preliminary resolution and the report. This notice shall be published as Class 1 notice under ch. 985, Wis. Stats, and a copy shall be mailed, at least 10 days before the hearing, to every interested party whose address is known or can be ascertained with the reasonable diligence.
8. The hearing shall be held in the Council Chambers of the City Hall at 101 South Blvd, Baraboo, WI 53913 on May 14th, 2023 at 7:00 p.m. in accordance with Section 66.0703 (7)(a), Wis. Stats.
9. The assessment against any parcel may be paid in cash or in annual installments in accordance with the City of Baraboo Sidewalk Policy and Special Assessment Procedure.

Motion: CARRIED (9 to 0)

12.4 TID #13 Proposal, Ehlers & Associates, Inc.

Resolution No: 2024-77

Moved by: Ellington

Seconded by: Sloan

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Baraboo, Sauk County, Wisconsin, that:

The City of Baraboo authorizes the Co-Interim City Administrators to sign the attached agreement with Ehlers for a feasibility analysis for the potential creation of TID #13.

Against (1): Lombard

Motion: CARRIED (8 to 1)12.5 **Weights & Measures Inspections****Resolution No: 2024-78**

Moved by: Kent

Seconded by: Hazard

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the City contract with the Wisconsin Department of Agriculture, Trade and Consumer Protection for the Weights and Measures inspections at an annual cost of \$6,000.00.

Motion: CARRIED (9 to 0)**13. NEW BUSINESS ORDINANCES**13.1 **Specific Implementation Plan for Baraboo Bluffs Estates**

Moved by: Sloan

Seconded by: Ellington

Motion to approve the 1st reading of **Ordinance No. 2630** amending Section 17.18.

THE COMMON COUNCIL OF THE CITY OF BARABOO, WISCONSIN, DO ORDAIN AS FOLLOWS:

1. Section 17.18(4)(d), Code of Ordinances, is amended as follows:

17.18 ESTABLISHMENT OF DISTRICTS AND INCORPORATION OF ZONING DISTRICT MAP

- (4) DISTRICT BOUNDARIES AND MAP AMENDMENTS.

- (d) Planned Unit Development. The following Planned Unit Development is approved and incorporated into the zoning map: 2024-01.

2. The attached Phase 1 Specific Implementation Plan for Phase 1 of Baraboo Bluffs Estates is approved as part of Planned Unit Development 2024-01.

This Ordinance shall take effect upon passage and publication as provided by law.

Motion: CARRIED (9 to 0)**14. ADMINISTRATOR AND COUNCIL COMMENTS**

No comments.

15. REPORTS, PETITIONS, AND CORRESPONDENCE

The City officially acknowledges receipt and distribution of the following:

Reports: 1st Qtr. General Fund Summary; March, 2024 Treasurer & Building Inspection**Copies of the meeting minutes included in this packet:**

Finance/Personnel Committee Meeting Minutes

March 26, 2024, 5:30 p.m.
City Hall, Committee Room #205
101 South Blvd., Baraboo, WI 53913

Members Present:

Sloan, Petty, Kent

Members Absent: None.

Others Present: Mayor Nelson, Clerk Zeman, Interim City-Administrators P. Cannon & T. Pinion, J. Ostrander, D. Olson

1. Call Meeting to Order

Chairman Sloan called the meeting to order at 5:32pm.

1.a Roll Call of Membership

1.b Note Compliance with Open Meeting Law

1.c Approve Minutes of March 12, 2024

Moved by: Petty

Seconded by: Kent

CARRIED (3 to 0)

1.d Approve Agenda

Moved by: Petty

Seconded by: Kent

CARRIED (3 to 0)

2. Action Items

2.a Accounts Payable

Moved by: Kent

Seconded by: Petty

Recommend paying \$699,274.17 in Accounts Payable.

CARRIED (3 to 0)

2.b Public Works Project, Asphalt & Concrete Pavement Crushing

T. Pinion noted that some numbers were transposed in the bid tab and staff mistakenly attributed the low bid to Tri-County Paving. We are issuing a low bid to A-1 Excavating, LLC, unanimously approved by Public Safety.

Moved by: Petty

Seconded by: Kent

Recommend authorizing an agreement with A-1 Excavating, LLC in the amount of \$26,350 for the 2024 Public Works asphalt paving and concrete pavement crushing.

CARRIED (3 to 0)

2.c 2024 WI Site Assessment Grant and Assessment Monies

T. Pinion explained that the city approved a Brownfields and Stewardship Negotiated Agreement with the DNR for the I.M. Dairy property at 105 Vine Street. Because it expected that contamination exists, we will need to do a phase 2 site assessment. M. Hardy is putting together a Site Assessment Grant (SAG) application and Wisconsin Assessment Monies (WAM) which will serve as a 20% match for the SAG. This authorizes the Park & Recreation Director to submit these applications and if awarded, accept the funds.

Moved by: Petty

Seconded by: Kent

Recommend authorizing the Parks & Recreation Director to submit and accept the awards for a 2024 Wisconsin Site Assessment Grant & Wisconsin Assessment Monies for the site assessment at 105 Vine Street (I AM Dairy).

CARRIED (3 to 0)

3. Discussion Items

Funding for campus expenses, 2024 & 2025

Mayor Nelson explained that due to some unforeseen expenditures, the campus commission has spent their entire budget. At this point, without additional funding, we will not be able to pay the April bills. We may need to raise our allocation going forward. While the County has the funds available, it is the Committee's recommendation to find the funds to continue to support the campus. P. Cannon recommends allocating \$50,000 from Fund Balance and if, at the end of the year, any funds remain, it will be transferred back to Fund Balance. Staff will submit an insurance claim for the electrical panel and boiler pumps to see if we can get some of these unexpected expenses covered.

The committee feels that the community supports the campus; they want to continue sharing ownership with the County. The committee would like to invite representatives from Sauk County and the campus to a Council meeting to find out more information regarding any future plans.

Long-term City Financials

P. Cannon presented projected debt service and operational costs, including a 4% inflation, over the next 10 years. The committee will need to look at options on how to move forward with expenses that continue to increase while revenues remain stable.

Submitting applications for Federal Appropriation Opportunities

Mayor Nelson noted that we have received an invitation to apply for earmarks in the Federal budget, up to three projects. There was a small discussion amongst staff regarding what projects we would like to be considered, Campbell Park being one of them. This will be brought back to a later meeting for additional discussion.

4. Adjournment

Moved by: Petty

Seconded by: Sloan

That the meeting be adjourned at 6:49pm

16. CLOSED SESSION

Moved by Ellington, seconded by Kierzek, and carried unanimously, to go into Closed Session. The Mayor announced that the Council will consider moving into Closed Session pursuant to §19.85(1)(c), Wis. Stat., to consider employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility, specifically a discussion of potential City Administrator applicants and updating the interview timeline.

17. OPEN SESSION

Moved by Hazard, seconded by Ellington, and carried unanimously, to return to Open Session. The Mayor announced that the Council will return to Open Session as per §19.85(2), Wis. Stats., to address any business that may be the result of discussions conducted in Closed Session.

18. COMMITTEE OF THE WHOLE

Moved by Sloan, seconded by Hazard, and carried unanimously, to enter Committee of the Whole to discuss the hiring of the Park & Recreation Director and City Administrator.

Park & Recreation Director

P. Cannon noted that the process for the hiring of this position is made with a recommendation from the Parks & Recreation Commission. A selection committee will review the initial applications and make recommendations to the Commission for interviews. It will then be brought back to the Council with a recommendation to hire someone. Staff has been reviewing the organization of the department; any recommended changes will be brought back to the Council for approval.

City Administrator

P. Cannon noted that we will be bringing back some of the previous candidates for phone interviews. There is the potential of 5 candidates moving forward with the selection committee narrowing this down to 1 or 2. If none of the past candidates are available, the job position will be reposted.

Moved by Sloan, seconded by Thurow, and carried unanimously, to rise and report from Committee of the Whole and return to regular session.

19. ADJOURNMENT

The Mayor declared the meeting adjourned at 8:22pm.

Brenda M. Zeman, City Clerk

10.1

RESOLUTION NO. 2024 -

Dated: May 14, 2024

The City of Baraboo, Wisconsin

<i>Background:</i>
Fiscal Note: (Check one) <input type="checkbox"/> Not Required <input type="checkbox"/> Budgeted Expenditure <input type="checkbox"/> Not Budgeted
<i>Comments</i>

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the Accounts Payable, in the amount of \$ _____ as recommended for payment by the Finance/Personnel Committee, be allowed and ordered paid.

Offered By: Consent
Motion:
Second:

Approved by Mayor: _____
Certified by City Clerk: _____

RESOLUTION NO. 2024 -

Dated: May 14, 2024

The City of Baraboo, Wisconsin*Background:*

Fiscal Note: (Check one) ☒ Not Required ☐ Budgeted Expenditure ☐ Not Budgeted
Comments

Resolved, by the Common Council of the City of Baraboo, confirms the Mayor's appointments as follows:

THAT, Donna Baker be appointed to the Community Development Authority serving until November 14, 2027 and,

THAT Paige Kramer be appointed to fill the unexpired term of Brenden McDaniel on the Business Improvement District (BID) Board serving until April 30, 2026.

Offered By: Consent
Motion:
Second:

Approved by Mayor: _____
Certified by City Clerk: _____

11.1
The City of Baraboo, Wisconsin

Background: On December 13, 2022, the City Council approved the Phase 1 Specific Implementation Plan for Baraboo Bluffs Condominiums, a private planned unit development on a 19.06-acres site located on the east side of Waldo Street between Hager Street and Parkside Avenue that included 85-condominium units in a mixture of 33 two and three dwelling unit residential buildings.

The developer has since completed the first four buildings, three duplex condominium buildings and one triplex condominium building as part of the six buildings planned for Phase 1 of the SIP. However, they have yet to sell any of the nine condominium units and they attribute the sluggish sales to the lengthy Declaration of Condominium document and the associated monthly maintenance fees.

The developer does not want to change the PUD Overlay Zoning but proposed an Amended GDP that converted this private planned unit development with 85 condominium units to a public planned development with 86 zero lot line in a mixture of 35 two unit and three unit side-by-side single-family attached residential dwelling buildings. The Amended GDP was approved by the City Council at their April 9th, 2023 meeting. The existing Phase 1 Baraboo Bluffs Condominium Plat will be vacated in favor of a Final Plat for Phase 1 of Baraboo Bluffs Estates, a more traditional residential subdivision.

The Plan Commission reviewed this matter at their April 16th meeting unanimously recommend approval of the Phase 1 SIP for Baraboo Bluffs Estates.

The SIP for Phase 1 of the Baraboo Bluffs Condominium was reviewed by the Plan Commission at their November 15th meeting and forwarded it to the Council for a public hearing with a unanimous recommendation to approve the SIP.

Fiscal Note: (check one) ☒ Not Required ☐ Budgeted Expenditure ☐ Not Budgeted
Comments:

THE COMMON COUNCIL OF THE CITY OF BARABOO, WISCONSIN, DO
ORDAIN AS FOLLOWS:

1. Section 17.18(4)(d), Code of Ordinances, is amended as follows:

**17.18 ESTABLISHMENT OF DISTRICTS AND INCORPORATION OF
ZONING DISTRICT MAP**

(4) DISTRICT BOUNDARIES AND MAP AMENDMENTS.

- (d) Planned Unit Development. The following Planned Unit Development is approved and incorporated into the zoning map: 2024-01.

2. The attached Phase 1 Specific Implementation Plan for Phase 1 of Baraboo Bluffs Estates is approved as part of Planned Unit Development 2024-01.

This Ordinance shall take effect upon passage and publication as provided by law.

Mayor's Approval: _____

Clerk's Certification: _____

I hereby certify that the foregoing Ordinance was duly passed by the Common Council of the City of Baraboo on the ____ day of _____, 2024 and is recorded on page ____ of volume _____. A summary of this Ordinance was published in the local newspaper on the ____ day of May, 2024.

City Clerk: _____

SPECIFIC IMPLEMENTATION PLAN FOR BARABOO BLUFFS ESTATES, PHASE 1, A FIVE BUILDING, 11-UNIT DEVELOPMENT PROJECT ON A 3.34-ACRE SITE ON THE EAST SIDE OF WALDO STREET BETWEEN PARKSIDE AVENUE AND HAGER STREET, IN THE SE ¼ OF THE SW ¼ AND THE SW ¼ OF THE SE ¼ OF SECTION 2, T11N, R6E, CITY OF BARABOO, SAUK COUNTY, WISCONSIN FOR KMD DEVELOPMENT LLC

KMD DEVELOPMENT LLC'S property has been zoned 18.4 acres of property on the east side of Waldo Street between Parkside Avenue and Hager Street has been zoned as a Planned Unit Development (PUD) under the City of Baraboo's Zoning Code and the Amended General Development Plan was approved on April 9, 2024. This Specific Implementation Plan (SIP) for Phase 1 of Baraboo Bluffs Estates has been submitted for approval pursuant to 17.36B(7), of the Baraboo Code of Ordinances:

1. The real property involved in this Specific Implementation Plan (SIP) consists of that property located on the east side of Waldo Street, between Parkside Avenue and Hager Street, more particularly described as follows:

Lot 1 of Sauk County Certified Survey Map No. 7231 recorded as Document No. 1243051 in Volume 45 of Certified Survey Maps, Pages 7231, 7231A, 7231B, 7231C, 7231D, 7231E and 7231F and part of Lots 3 and 4 of Sauk County Certified Survey No. 2184 recorded as Document No. 530685 in Volume 9 of Certified Surveys Pages 2184 and 2184A, located in the Southwest Quarter of the Southeast Quarter and the Southeast Quarter of the Southwest Quarter of Section 2, T11N, R6E, City of Baraboo, Sauk County, Wisconsin and bounded by a line described as follows:

*Beginning at the found standard Harrison monument at south one-quarter corner of said Section 2;
Thence, N89°53'56"W, along the south line of Lot 1 of said Sauk County Certified Survey Map No. 7231, 389.95 feet to a found 1" diameter iron pipe;
Thence, N00°16'49"E, along the west line of Lot 1 of said Sauk County Certified Survey Map No. 7132, 16.55 feet, to a found 1" diameter iron pipe;
Thence, S89°58'27"W, along the south line of Lot 1 of said Sauk County Certified Survey Map No. 7132, 100.08 feet, to a found 1" diameter iron pipe;
Thence, N77°25'25"W, along the southwest line of Lot 1 of said Sauk County Certified Survey Map No. 7132 and its northwesterly extension, 179.36 feet, to a set masonry nail at the northwest corner of Lot 4 of Sauk County Certified Survey Map No. 2184;
Thence, N00°18'35"W, along the west line of said Southeast Quarter of the Southwest Quarter of said Section 2, T11N, R6E, the centerline of Waldo Street and the west line of said Lots 4 and 3 of said Sauk County Certified Survey Map No. 2184, 872.26 feet, to a set masonry nail at the northwest corner thereof and the southwest corner of Lot 3 of said Sauk County Certified Survey Map No. 2184;
Thence, S89°54'04"E, along north line of said Lot 3 of Sauk County Certified Survey Map No. 2184, the south lines of Lots 43, 42, 41, 40, 39, 38, 37 and 36 of said First Addition to Park Ridge, the north line of said Lot 1 of Sauk County Certified Survey Map No. 7231, 633.64 feet, to a found ¾" diameter iron rod at the northeast corner thereof and the northwest corner of Lot 1 of Sauk County Certified Survey Map No. 5142;
Thence, S00°25'06"E, along the west lines of Lots 1, 2 and 3 of said Sauk County Certified Survey Map No. 5142, 265.79 feet, to a found ¾" diameter iron rod at the southwest corner of Lot 3 thereof;
Thence, S89°51'59"E, along the south line of Lot 3 of said Sauk County Certified Survey Map No. 5142 and the north line of said Lot 1 of Sauk County Certified Map No. 7132, 55.18 feet, to a found ¾" diameter iron rod at the northwest corner of Outlot 1 of said Sauk County Certified Survey Map No. 7132;
Thence, S00°19'45"W, along the west line of said Outlot 1 of Sauk County Certified Survey Map No. 7132, 217.87 feet, to a set 1 ¼" diameter iron rod at the beginning of a curve to the left;
Thence, 8.09 feet, along the southwest line of said Outlot 1 of Sauk County Certified Survey Map No. 7132 being said curve to the left having a radius of 5.06 feet, an included angle of 91°32'45", (a chord of 7.26 feet which bears S43°55'04"E)(C5) to a set 1 ¼" diameter Iron Rod at the end of said curve;
Thence, S89°42'19"E, along the south line of said Outlot 1 of Sauk County Certified Survey Map No. 7132, 300.91 feet, to a found 1 ¼" diameter iron rod at the southeast corner thereof and the southwest corner of Lot 15 of Park Ridge;
Thence, N86°00'16"E, along the south line of said Lot 15 of Park Ridge and the north line of Outlot 1 of said Parkside Subdivision, 190.35 feet, to a found ¾" diameter iron rod at the northeast corner thereof and the west right-of-way line of Parkside Avenue;
Thence, S00°11'41"E, along the said west right-of-way line of Parkside Avenue and the east line of said Outlot 1 of Parkside Subdivision, 66.16 feet, to a found ¾" diameter iron rod at the southeast corner thereof and the northeast corner of Lot 76 of said Parkside Subdivision;
Thence, S86°00'16"W, along the south line of said Outlot 1 of Parkside Subdivision and the north line of said Lot 76 of said Parkside Subdivision, 190.03 feet, to a set ¾" diameter iron rod at the northwest corner thereof;
Thence, S00°29'18"E, along the west lines of said Lot 76 of Parkside Subdivision, Lots 1, 2, 3 and 4 of Sauk County Certified Survey Map No. 6501 and Lot 70 of Parkside Subdivision and the east line of Lot 1 of said Sauk County Certified Survey Map No. 7132, 371.82 feet, to a found ¾" diameter iron rod at the southeast corner thereof;
Thence, N89°48'28"W, along the south line of said Lot 4 of said Sauk County Certified Survey Map No. 7132 and the south line of the Southwest Quarter of the Southeast Quarter of said Section 2, T11N, R6E, 329.44 feet, returning to the point of beginning.*

Certified Survey Map contains 17.50 Ac., 762,168 Sq. Ft., and is subject to all other easements and rights of way of record.

2. The property currently has four buildings with side-by-side single-family attached residential dwellings; three two-unit buildings and one three-unit building.
3. The property is presently zoned as a Planned Unit Development and pursuant to the approved Amended General Development Plan (GDP) that was approved at the April 9th Council Meeting. The specific intention of the developer is to construct thirty-five building with a total of 86-units in a mixture of two-unit and three-unit buildings.
4. The Amended GDP was specifically approved for an 86-unit multi-family residential development that will consist of a mixture of two-unit and three-unit buildings. The developer intends to install all of the required improvement in accordance with Section 18.08 of the Subdivision and Platting Ordinance and the City's standard specifications with an expectation to dedicate these improvements to the City. This Phase 1 SIP substantially conforms to the approved GDP and consists of six buildings consisting of three two-unit building and three three-unit buildings. The main east-west roadway and underground utilities will be completed as part of this Phase 1 project.
5. The property is specifically approved for use as a 6-unit residential development in accordance with the attached SIP. The use of this property and the location of the buildings shall not be changed from such use without modification of the Amended GDP and subsequent approval by the City's Common Council.
6. Signs upon the property shall be allowed pursuant to the Baraboo Sign Ordinance, §17.80, Code of Ordinances and the location of such signage is included in this SIP.
7. The terms of this SIP shall be covenants running with the land, and applicable not only to the petitioner, but to any and all subsequent owners as well.

Baraboo Bluffs Estates

- ◇ City of Baraboo • Specific Implementation Plan (SIP) of Proposed Development - Amendment •
- ◇ Submitted April 11, 2024 •

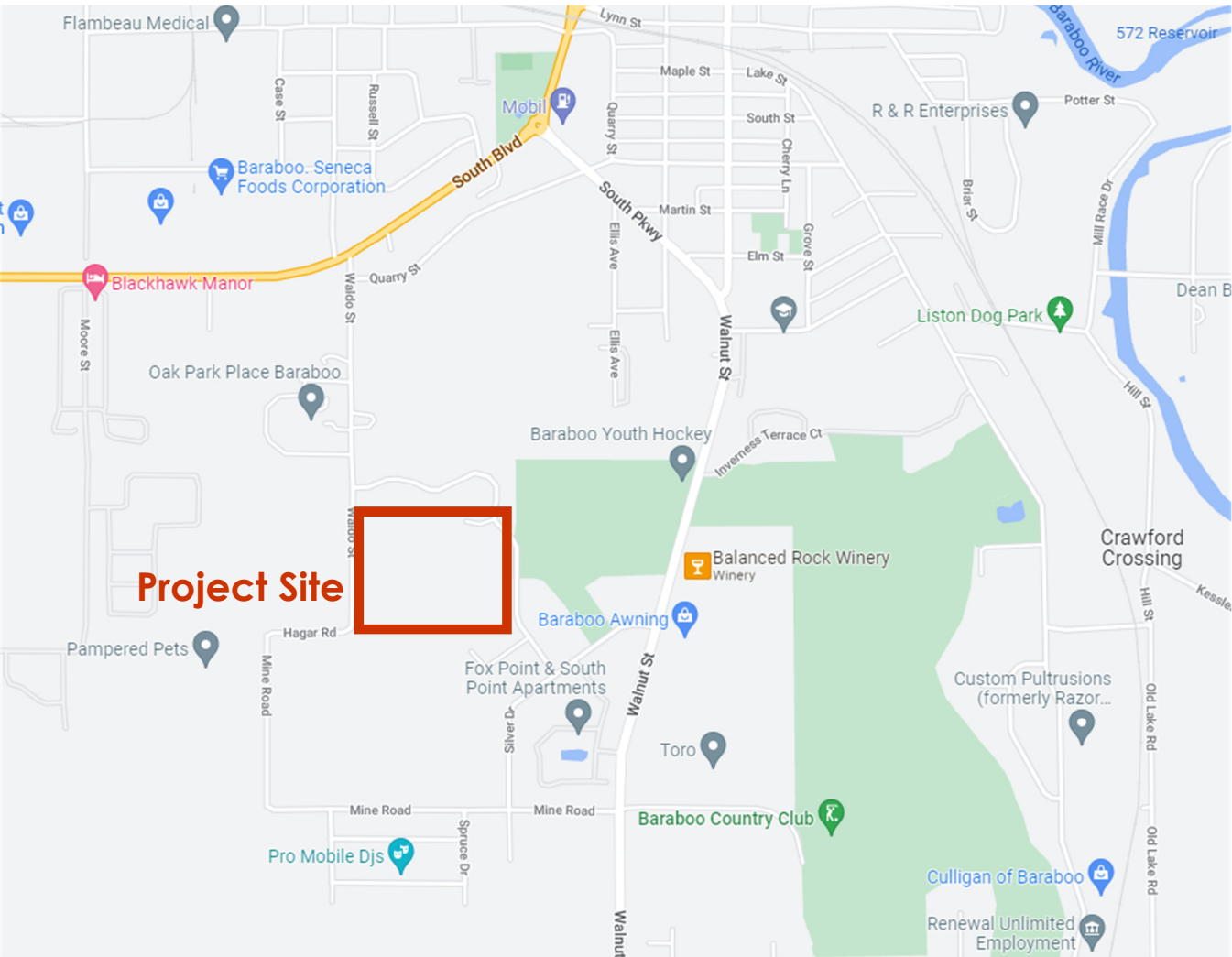


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Subdivision Plat.....	Appendix F

Developer

Maxwell Dvorak
E9290 Hogsback Road
Baraboo, WI 53913
608-345-1905
C/O: Bjorn Kaashagen (bjorn@bjkci.net)

Engineer, Surveyor & Planner

Vierbicher
400 Viking Drive
Reedsburg, WI 53595
608-402-6379
Matt Muchow, PE (mmuc@vierbicher.com)



Specific Implementation Plan

Introduction

The General Development Plan for the Baraboo Bluffs Estates development was recently amended to convert the original condominium development to a more traditional residential subdivision. The amended GDP included narrower road right of ways, reduced building setbacks, and duplex buildings that are converted to side-by-side single-family attached dwellings. The clubhouse that was included for the condominium development is being converted to a duplex. The amended GDP includes 86 residential units.

This previously approved SIP included the construction of 6 buildings on the south side of Louis Lane. Of the 6 buildings, the eastern 4 buildings have already been built. This SIP amends the originally approved SIP to include the 4 buildings already constructed and one duplex on the north side of Louis Lane where the future clubhouse was previously located. This SIP also converts the Condominium Plat to a more traditional development with side-by-side single family dwellings.

Project Description

Phase 1 (already completed): Phase 1 included mass grading and the construction of the stormwater retention pond. In addition, utilities will be run through the center of the property. The main west—east road (Louis Lane) was constructed including the street and utilities to serve the units on either side of Louis Lane. Six buildings including one small duplex, two large duplexes, and a mix of 3—1 and 2 story three-unit buildings were approved as part of the Phase 1 SIP. Four buildings have already been constructed.

Phase 1A: In addition to the Phase 1 work already completed, This Specific Implementation plan also includes one duplex on the north side of Louis Lane. The location is as shown on the attached Plat.

Phase 2: Will start with the units on the south side of

the property along Gust Road and Pitt Place.—Phase 2 will begin after the Phase 1 buildings sell and will start when demand warrants. Any work in Phase 2 will be included with a future SIP.



Phase 3: Will be the construction of the remaining streets and residential units. Phase 3 will also depend on the housing demand. Phase 3 may be split into several phases depending on demand and the overall market at the time of development.

Project Specifics

Specific project themes and images.
See Appendix B and C.

Dwelling Unit Types

Building Type	Approximate Number of Buildings	Units
Two Unit Condo	19	38
Three-Unit Condo	16	48
Total	35	86

There will be a variety of dwelling units; typically one and two-story buildings. Typical dwelling units will range from approximately 1,400 square feet to 2,200

square feet with two to three bedrooms, two bathrooms, and attached garages. The floor plans will be open for maximum flexibility. Bedrooms will be on the upper level with several units having master bedrooms on the main floor. The units will have patios and porches to connect to the outside environment.

The exterior will be of a traditional and craftsman design. There will be a variety of building design images. The buildings will have sloped roofs with dimensional shingles. The exteriors will have a variety of low-maintenance finishes, including SmartSide siding, vinyl windows, masonry and cultured stone. Exterior elevations of the buildings are included in the appendix.

Specific Residential Densities

The original SIP included previously approved included 3 two-unit buildings and 3 two-unit buildings. This amended SIP includes 4 two-unit buildings and 1 three-unit buildings. The densities are consistent with he approved GPD.

Sustainable Building Practices

The development will utilize sustainable building practices where practical, including, but not limited to the following:

- Window with a U-factor of .28
- Doors with more than ½ lite will have a U-factor of .30
- LED light fixtures
- Energy star appliances
- Low flow plumbing fixtures
- Duct insulation in attics of R-8 rating
- Wall and ceiling insulation as listed below
- Wall insulation with a U-factor of 0.051
- Ceiling insulation with a U-factor of 0.027

Specific Treatment of Natural Features

The project will be designed and constructed to blend with the natural topography. In future phases several dwelling units may have exposed, accessible

lower levels that will be cut into the hillside to create a walk-out.

A two cell stormwater management system was constructed on the eastern side of the site. The cells will include a dry infiltration basin and a wet basin and they are approximately 0.92 acres in size. The stormwater system was designed to meet regulatory requirements and will be designed to accommodate the 1-year through 100-year storm events.

Specific relationship to nearby properties and public streets

Louis Lane connects Waldo Street to Parkside Avenue. The project will be adjacent to residential development to the north and to the east. The property to the west is vacant woodland and farmland. The property to the south is one single family residential dwelling on a large lot. This proposed development will blend with the neighboring land uses.

Statement of Rationale

Baraboo Bluffs Estates Development will be a new neighborhood on the south side of Baraboo. The development is near Pierce Park and other community facilities. There will be a variety of residences; a mix of one-story and two-story with two or three bedrooms. The Planned Development zoning will provide a clear, logical zoning classification. Planned Development zoning gives the Baraboo Bluffs Estates development the flexibility needed to best utilize the space and will provide the long-term, cost-effective and planned approach to development desired by the City.

Zoning Standards—Exceptions

- A. **Permitted Uses.** Project includes two and three family dwellings.
- B. **Minimum Yard Dimensions.** The principal building lot dimensions and lot sizes will be established with the Plat, as will the rear yard setbacks. **The front yard setback will be 10’ minimum on the existing buildings that have already been constructed on Louis Lane.**

The Lot width for Lot 6 is 30.5’ to match the width

of the center unit of the 3-unit building. An access easement is provided on Lot 5 and Lot 7 to access the back yard of Lot 6.

- C. **ROW and Street Widths** The right of way for Louis Lane is 66’ and street width of 36’ from back of curb to back of curb. See attached typical section.
- D. **Setback.** The rear yard and side yard setbacks will be set with the Plat.
- E. **Chapter 18.** A 5’ sidewalk will be provided on both sides of the road on all streets, except for on Louis Lane. There is currently an 8’ wide path on the north side of Louis Lane.

Curb and gutter will be provided on all streets. Willan Way, Gust Road, and Pitt Place will include narrower streets that and will be one way traffic.

A tree every 40-feet will not be provided but a landscape plan is attached that provides screening throughout the property. In addition, each building will have landscaping adjacent to the building.

Traffic Study

A traffic study was completed for the existing and proposed Waldo Street and South Boulevard intersection. The results of the study are included in Appendix D. The takeaways of the traffic study are:

- The developments combined are anticipated to add about 200 peak hour trips.
- The Hitchcock and Waldo intersections operate with relatively low side street delay.
- Development traffic is expected to have minimal impact on increased delays at the Waldo Street and South Boulevard intersection. Side streets stay at a Level of Service C after full buildout.

The study considered the new traffic the two developments are expected to create and where traffic will go (Exhibit 10). The two developments are Baraboo Bluffs Estates project in addition to a separate

planned development to the south. This traffic is primarily anticipated to travel to and from South Boulevard via Waldo Street and South Parkway.

Analysis was also performed to determine how the South Boulevard intersections with Hitchcock Street and with Waldo Street operate currently (Exhibit 5) and with the developments (Exhibit 16). Existing traffic was counted during and represents weekday morning and afternoon peak hours. The developments are not anticipated to have a significant impact to traffic operations. If drivers find the delay to make the northbound left turn from Waldo Boulevard too long, they are anticipated to shift towards South Parkway so that they may enter South Boulevard using the roundabout where they should experience less delay.

Summary

The General Development Plan for the Baraboo Bluffs Estates development was recently amended to convert the original condominium development to a more traditional residential subdivision. This SIP amends the previously approved SIP and is consistent with the recently approved modifications in the updated GDP.

The previously approved SIP included the construction of 6 buildings on the south side of Louis Lane. Of the 6 buildings, the eastern 4 buildings have already been built. This SIP amends the originally approved SIP to include the 4 buildings already constructed and one duplex on the north side of Louis Lane where the future clubhouse was previously located. This SIP also converts the Condominium Plat to a more traditional development with side-by-side single family dwellings.

A separate SIP will be submitted at a future date for any work within the GDP beyond what is included in this Plan.

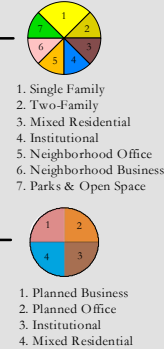
APPENDIX A

Planned Land Use - City

- Roads
- Highway 12 Bypass
- Proposed Roads
- Railroads
- Village of West Baraboo
- Township Boundary
- Parcels
- Baraboo Municipal Boundary
- 3-Mile ETJ
- 1.5 Mile ETJ
- 1/4-Mile Land Fill Buffer
- Rivers, Streams & Creeks
- Operating Extraction Site

Land Use

- Agriculture/Rural/Vacant
- Septic Residential
- Single Family Residential
- Two Family Residential
- Mixed Residential
- Planned Neighborhood
- Neighborhood Office
- Neighborhood Business
- Planned Business
- General Business
- Central Mixed Use
- Planned Mixed Use
- Planned Industrial
- General Industrial
- Landfill/Extraction
- Surface Water
- Institutional
- Parks/Open Space
- Public Lands
- Environmental Corridor
- Urban Reserve Area



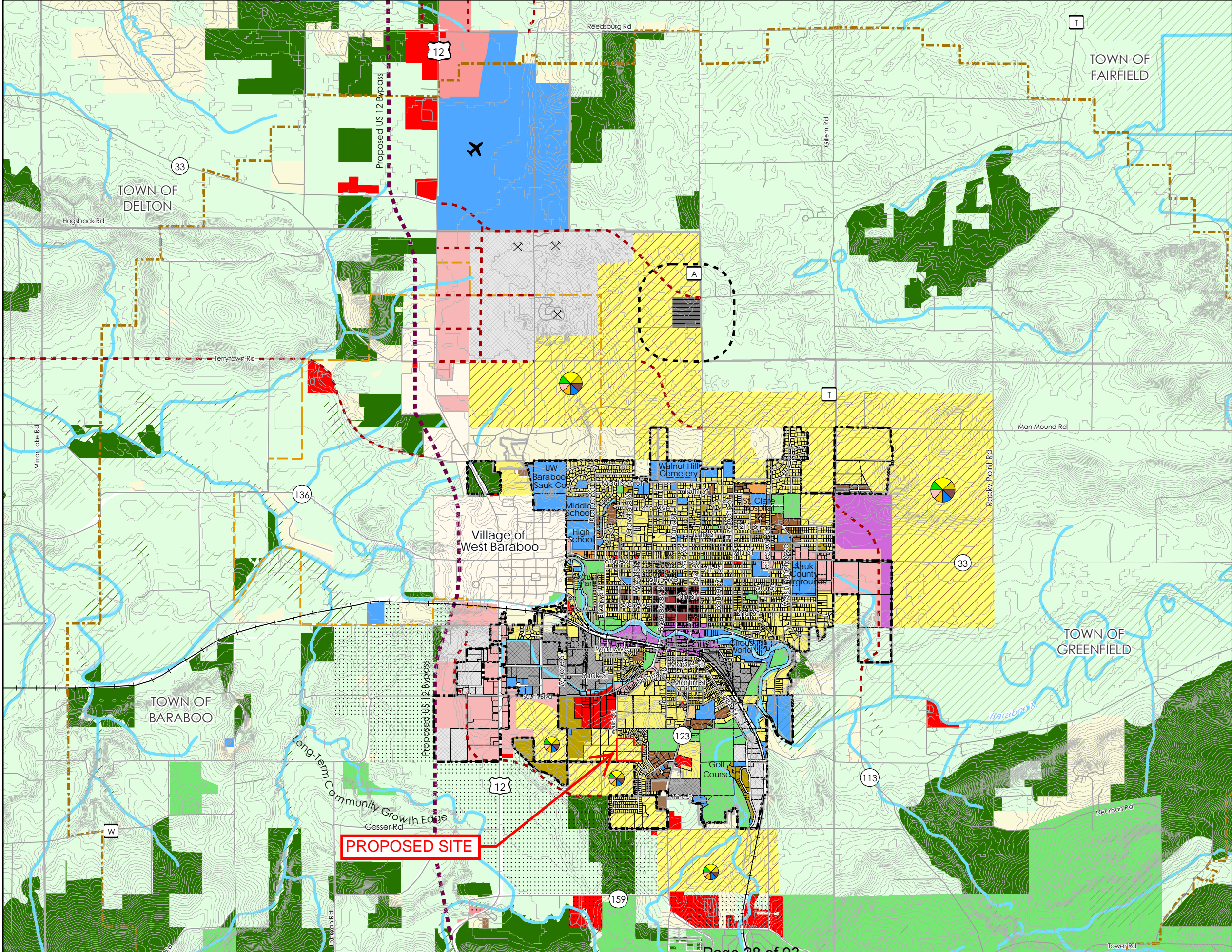
Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision.



0 0.5 1 Miles

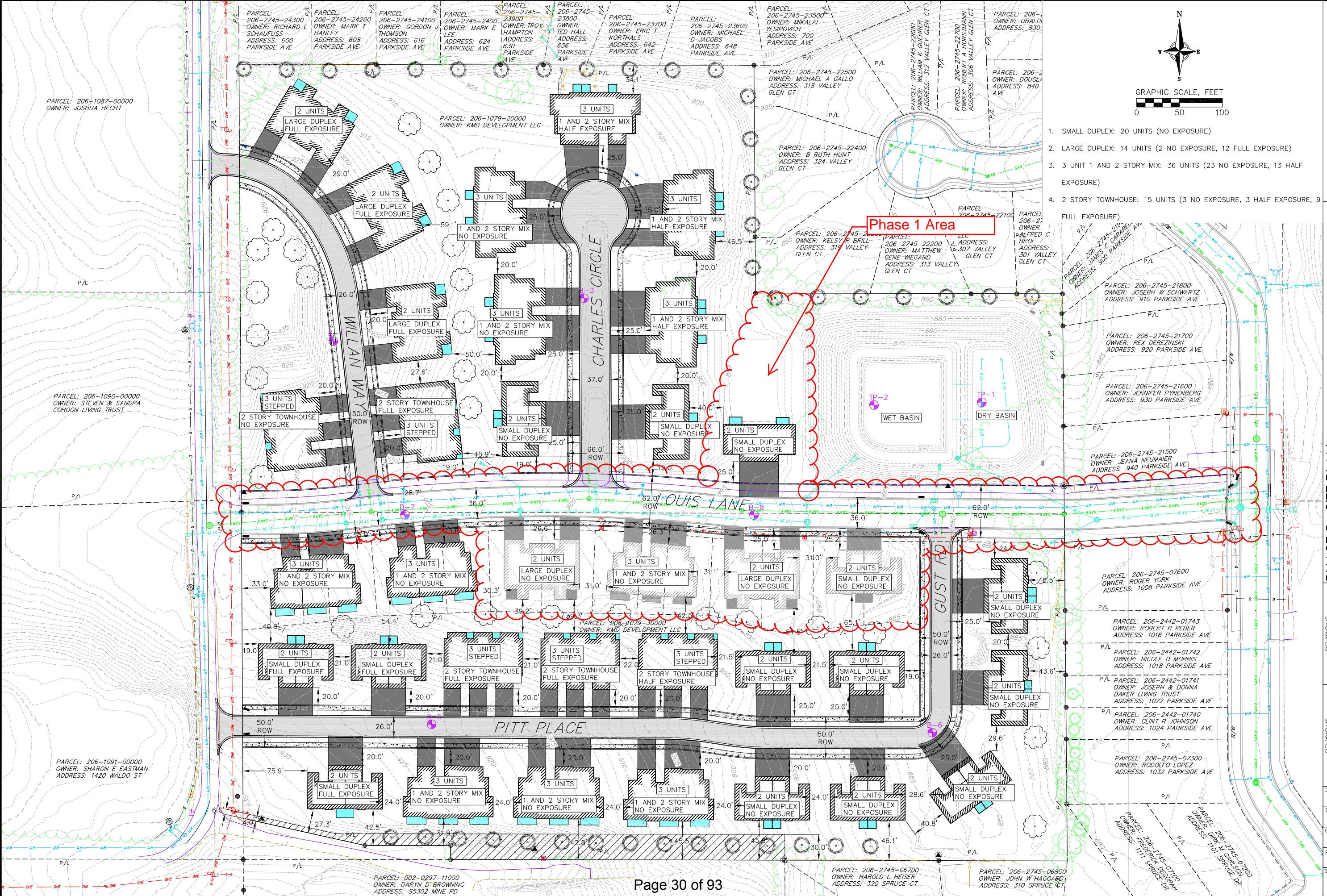


Date: May, 2005
Source: Land Use Field Survey



APPENDIX B

14 Feb 2024 - 3:54p R:\Dworki, Maxwell\230207 - Baraboo Bluffs Condominiums Phase 2\CADD\Baraboo Bluffs Condo Ph 2 - Phase 2 Site Plan.dwg by: klen © Vierbicher Associates, Inc.

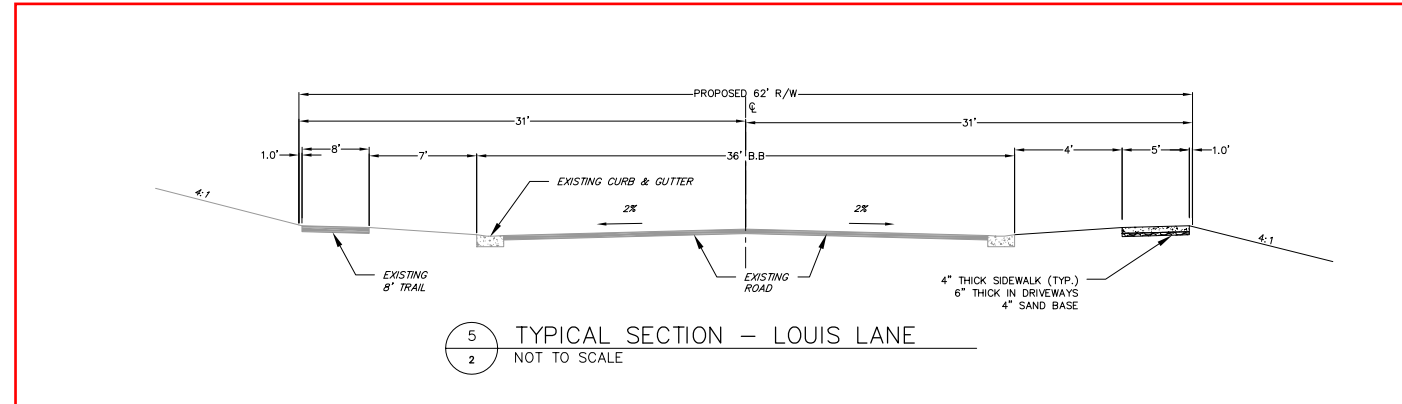


1. SMALL DUPLEX: 20 UNITS (NO EXPOSURE)
2. LARGE DUPLEX: 14 UNITS (2 NO EXPOSURE, 12 FULL EXPOSURE)
3. 3 UNIT 1 AND 2 STORY MIX: 36 UNITS (23 NO EXPOSURE, 13 HALF EXPOSURE)
4. 2 STORY TOWNHOUSE: 15 UNITS (3 NO EXPOSURE, 3 HALF EXPOSURE, 9 FULL EXPOSURE)

PHASE 2 - SITE PLAN
BARABOO BLUFFS CONDOMINIUMS PHASE 2
CITY OF BARABOO
SAUK COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS
REVISIONS				
DATE				
FEBRUARY, 2024				
DRAFTER				JREE
CHECKED				TBRA
PROJECT NO.				230207
SHEET				1 OF 2

APPENDIX C

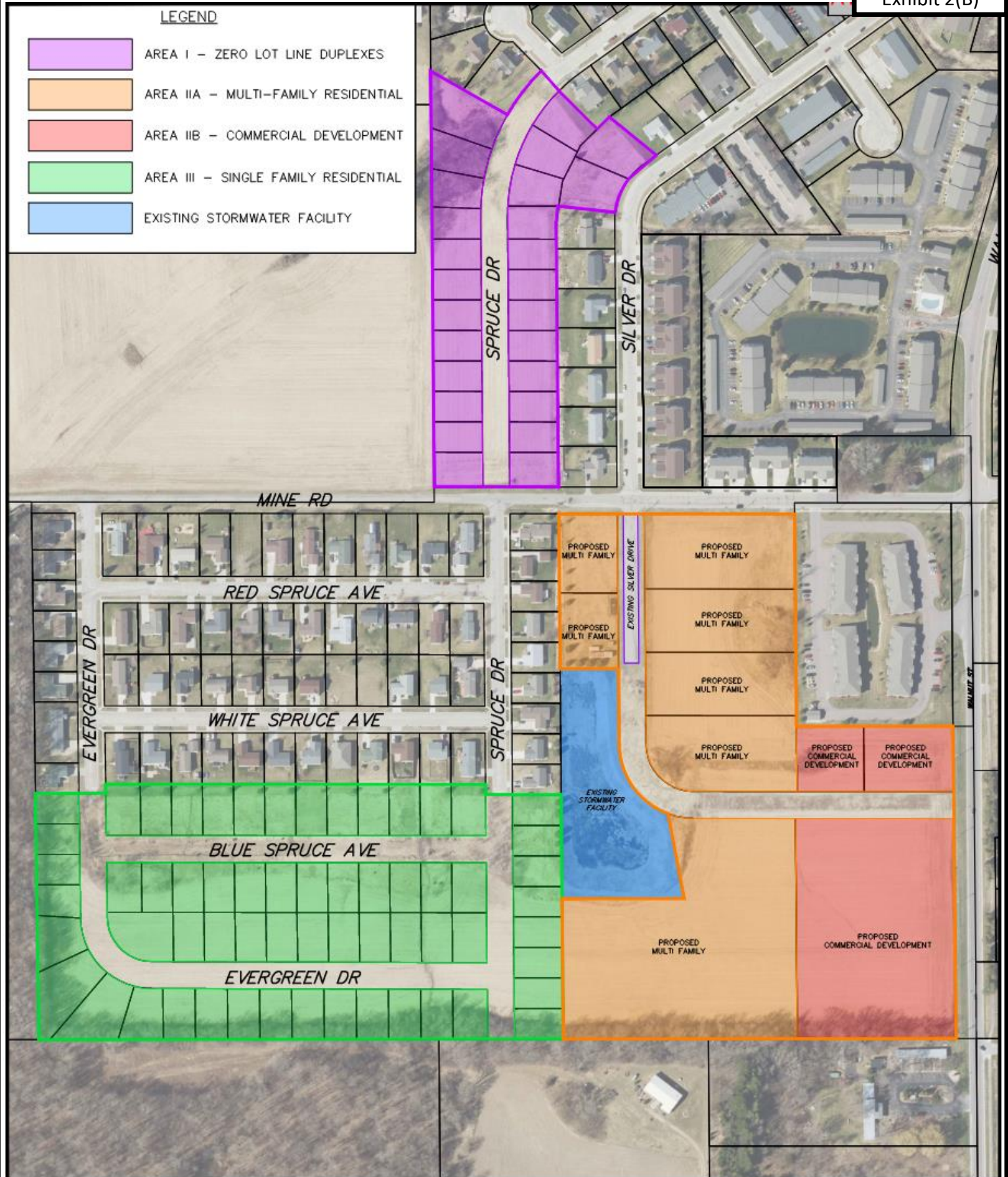


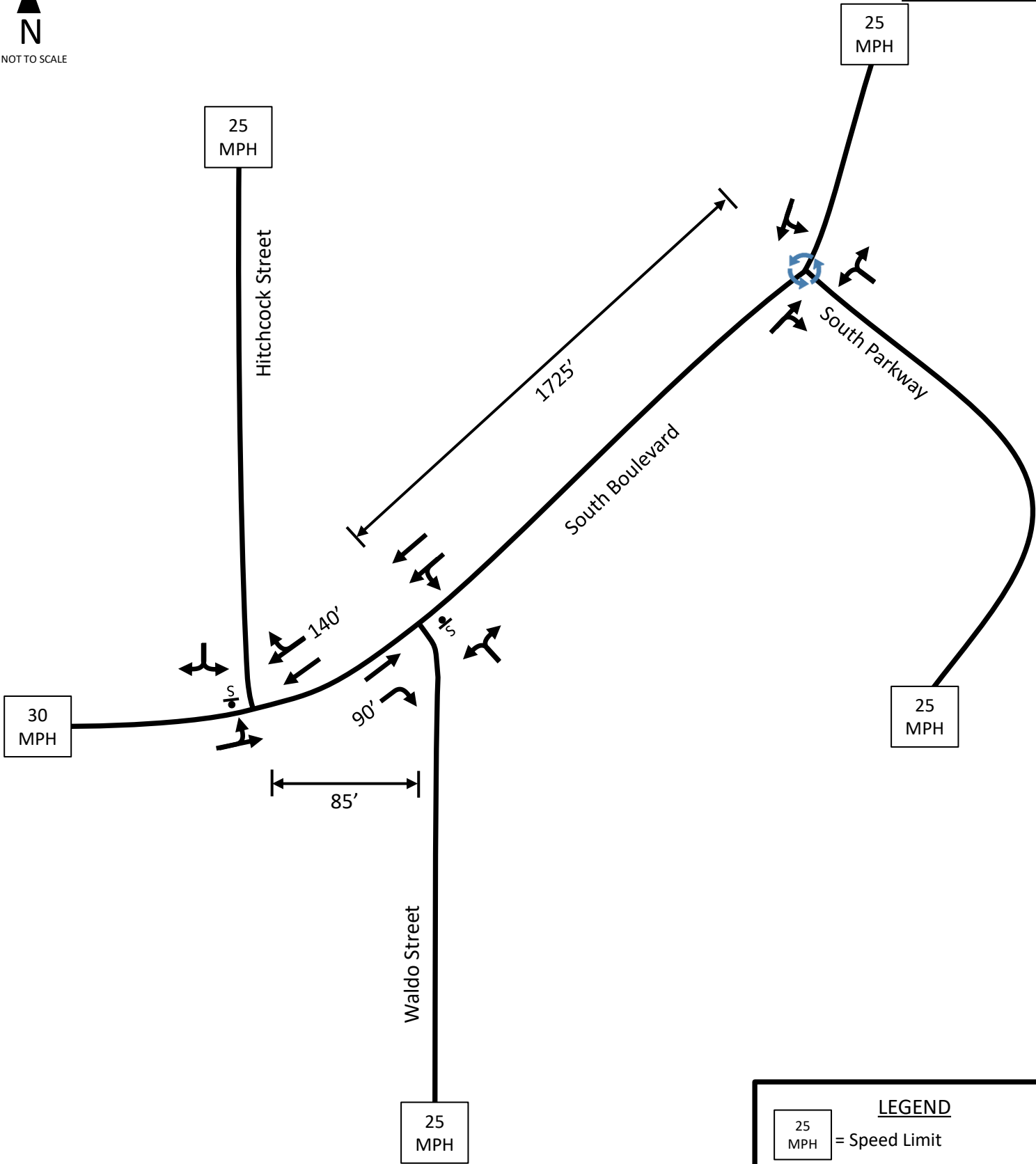
APPENDIX D





Site Plan - Area A (Waldo Street Residential Development)

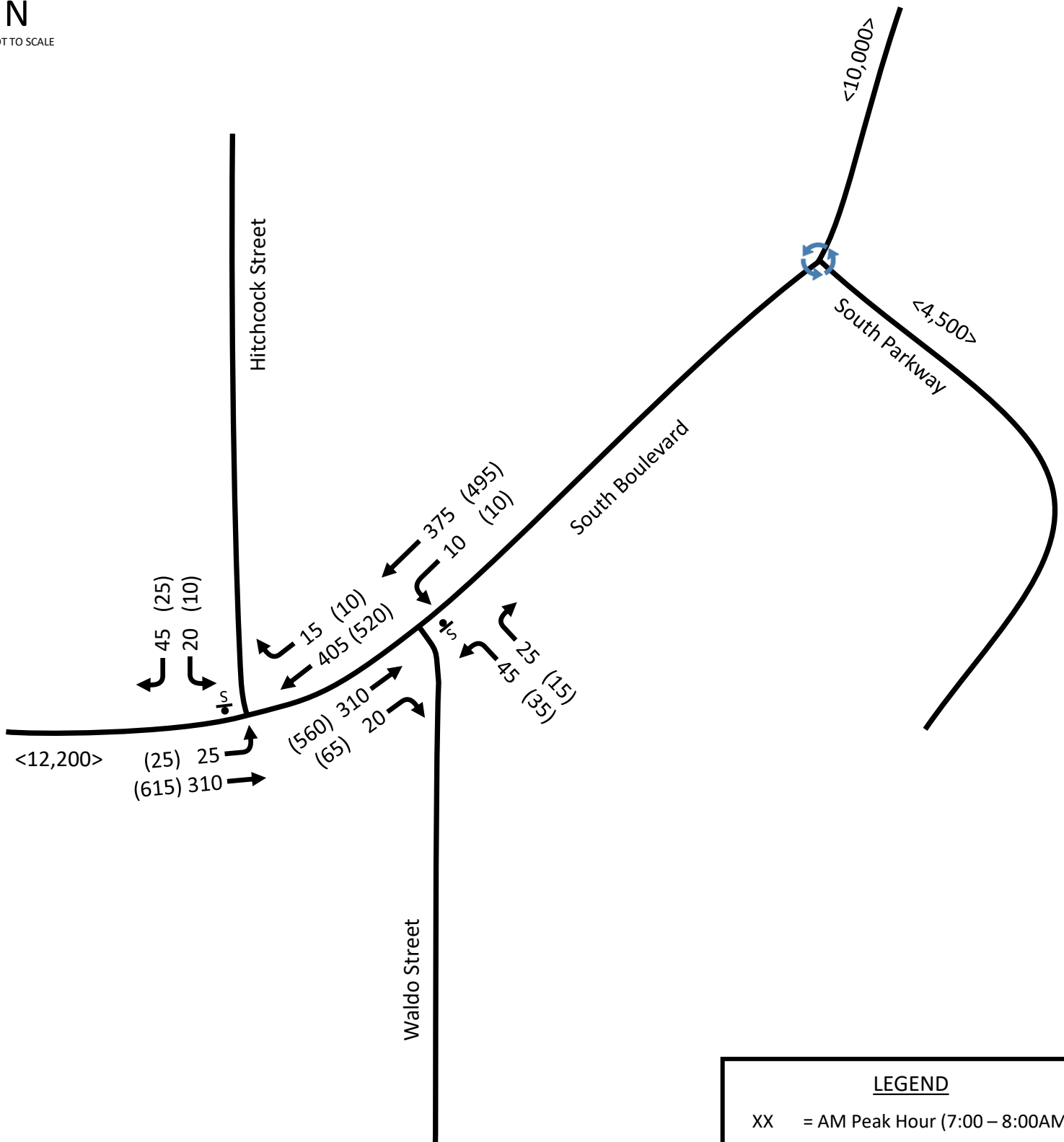




Note: Lane assignments are based on observed operating conditions.

LEGEND

- = Speed Limit
- = Available Storage Length
- = Stop Sign
- = Roundabout





LEGEND

XX = AM Peak Hour (7:00 – 8:00AM)

(XX) = PM Peak Hour (3:45 - 4:45PM)

<X,XXX> = Average Annual Daily Traffic

 = Stop Sign

 = Roundabout

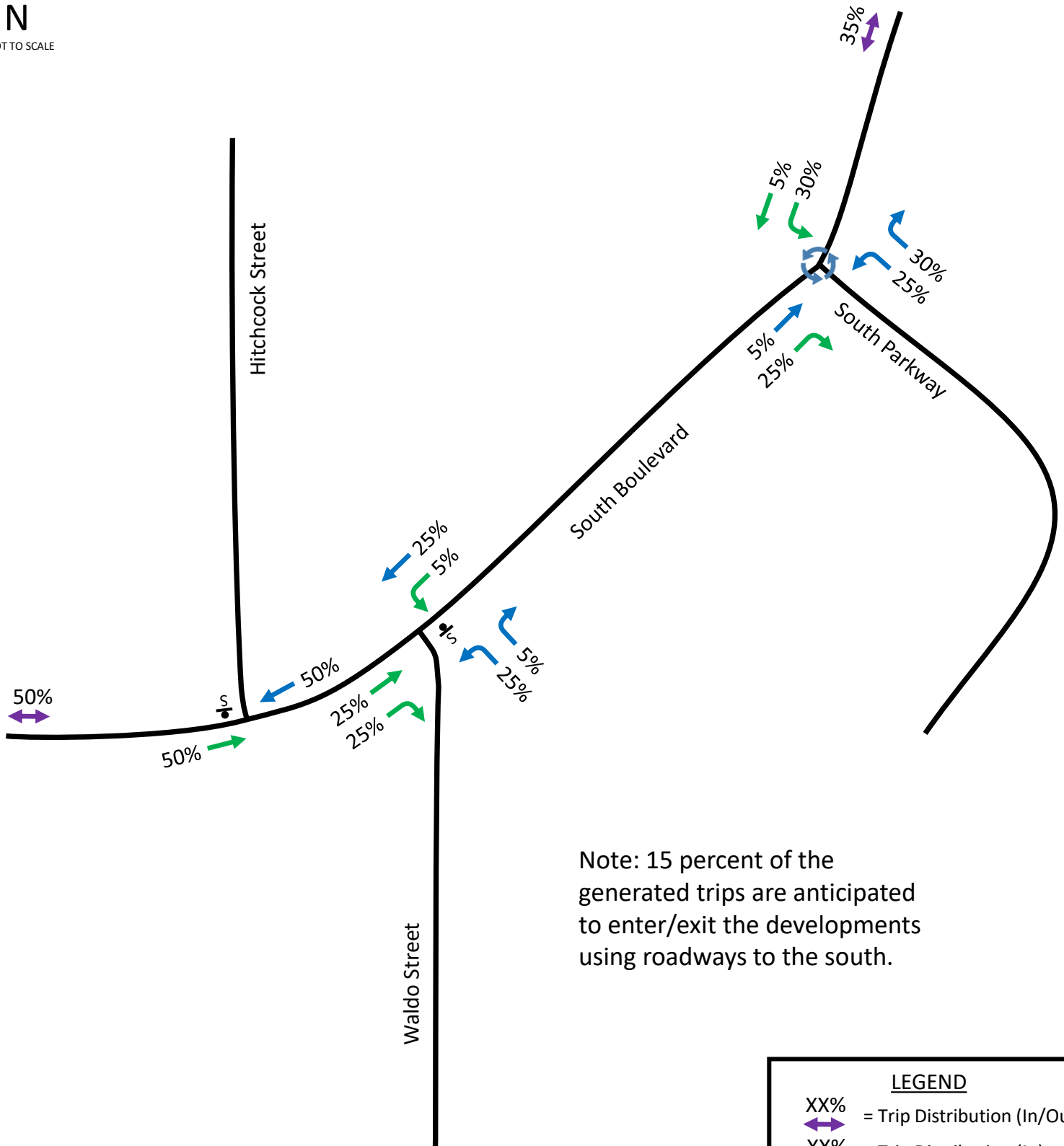
Level of Service by Movement - Existing Traffic Volumes

Intersection	Peak	Movement												Intersection
		Eastbound			Westbound			Northbound			Southbound			
		L	T	R	L	T	R	L	T	R	L	T	R	
South Boulevard & Hitchcock Street	AM	A	A			A	A				C		C	-
	PM	A	A			A	A				C		C	-
South Boulevard & Waldo Street	AM		A	A	A	A		B		B				-
	PM		A	A	A	A		C		C				-

Baraboo Developments Traffic Evaluation

Development Area	ITE Land Use	ITE Land Use Code	Size	Weekday Daily Trips (rate)	AM Peak			PM Peak		
					In (%)	Out (%)	Total (rate)	In (%)	Out (%)	Total (rate)
Area A	Senior Adult Housing - Single-Family	251	85 Dwelling Units	515 (6.06)*	10 (33%)	25 (67%)	35 (0.41)*	25 (61%)	15 (39%)	40 (0.47)*
Area B	Manufacturing	140	36.5 1000 Sq. Ft. GFA	340 (9.32)*	25 (76%)	5 (24%)	30 (0.82)*	5 (31%)	10 (69%)	15 (0.41)*
	Specialty Trade Contractor	180	10.7 1000 Sq. Ft. GFA	105 (9.82)	15 (74%)	5 (26%)	20 (1.66)	5 (32%)	15 (68%)	20 (1.93)
	Single-Family Detached Housing	210	61 Dwelling Units	640 (10.49)*	15 (26%)	35 (74%)	50 (0.82)*	40 (63%)	20 (37%)	60 (0.98)*
	Single-Family Attached Housing	215	26 Dwelling Units	150 (5.77)*	5 (31%)	5 (69%)	10 (0.38)*	5 (57%)	5 (43%)	10 (0.38)*
	Multifamily Housing (Low-Rise)	220	104 Dwelling Units	740 (7.12)*	15 (24%)	40 (76%)	55 (0.53)*	40 (63%)	25 (37%)	65 (0.63)*
New Trips				2,490	85	115	200	120	90	210

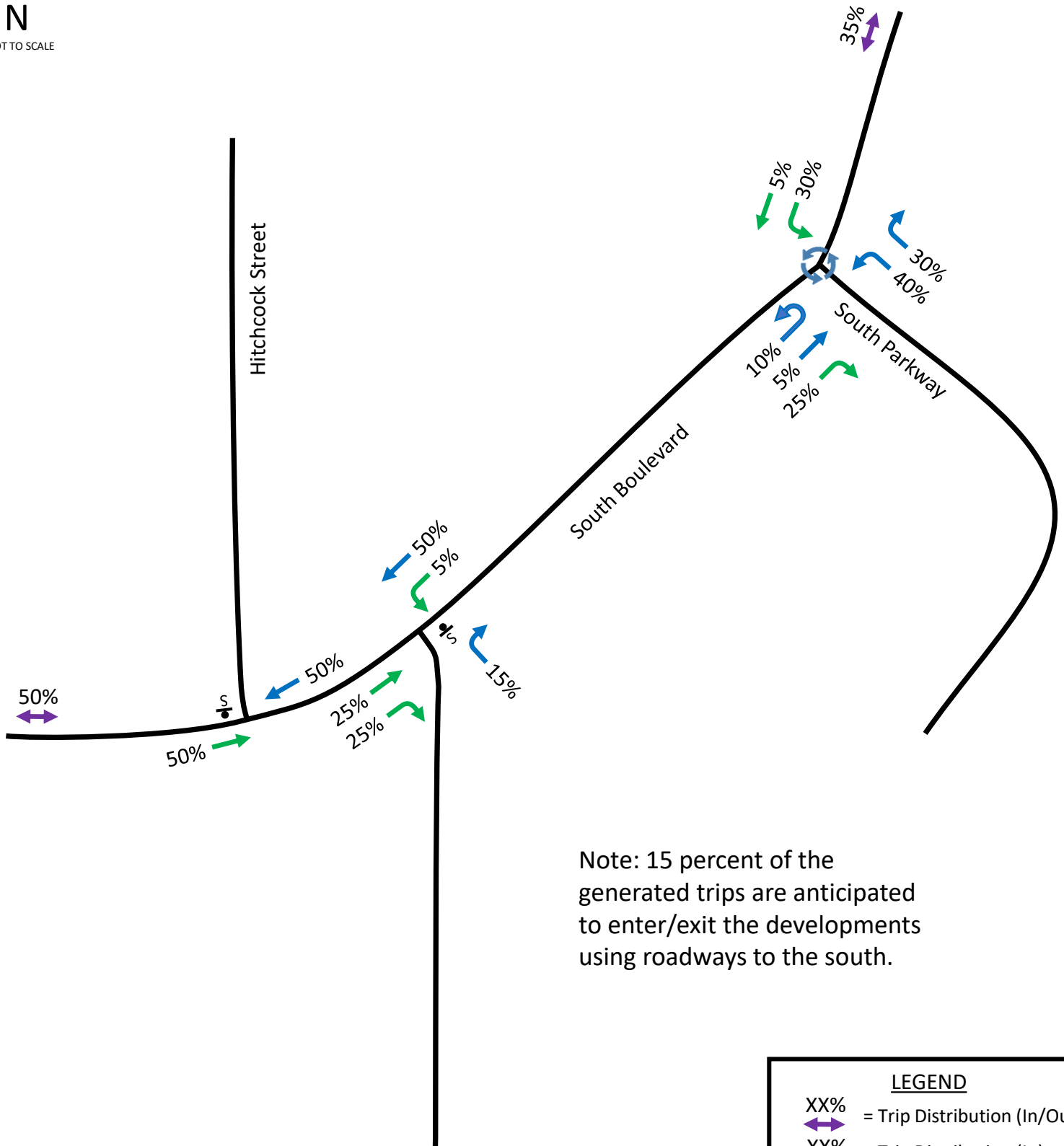
* Fitted curve equation used. Effective rate shown.



Note: 15 percent of the generated trips are anticipated to enter/exit the developments using roadways to the south.

LEGEND

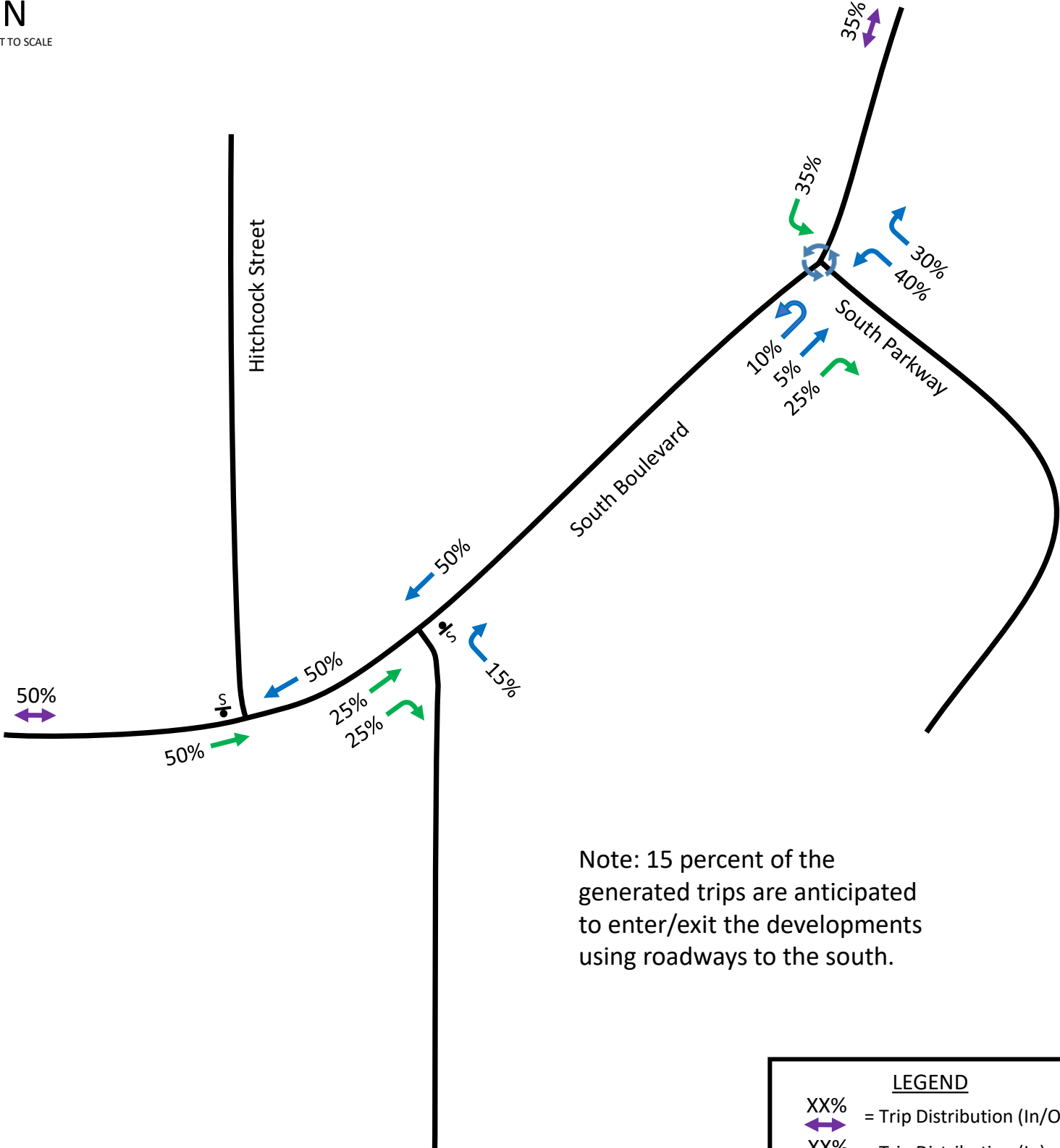
- XX% = Trip Distribution (In/Out)
- XX% = Trip Distribution (In)
- XX% = Trip Distribution (Out)
- ⊙ = Stop Sign
- ⦿ = Roundabout



Note: 15 percent of the generated trips are anticipated to enter/exit the developments using roadways to the south.

LEGEND

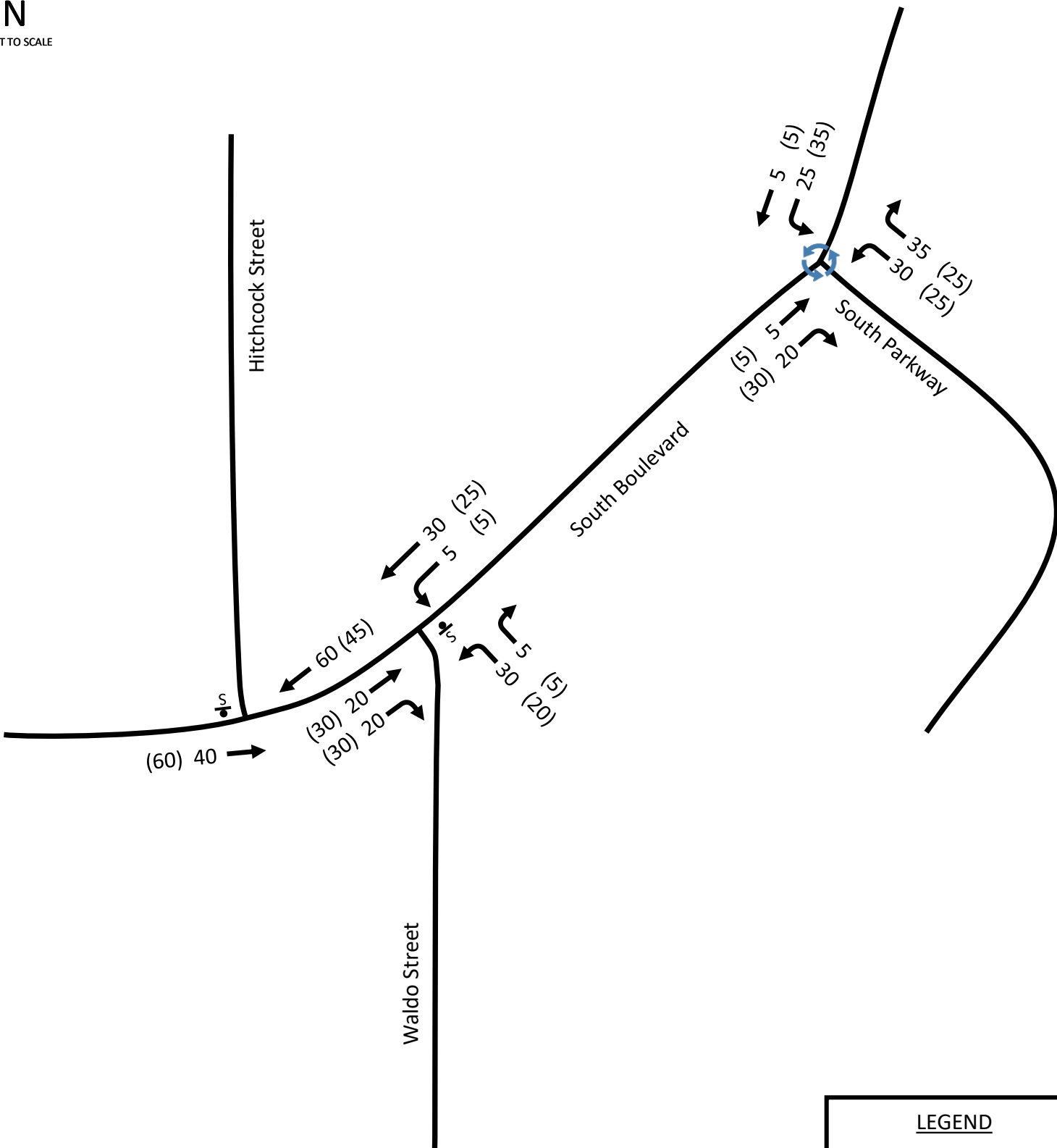
- XX% = Trip Distribution (In/Out)
- XX% = Trip Distribution (In)
- XX% = Trip Distribution (Out)
- ⊙ = Stop Sign
- ⊙ = Roundabout



Note: 15 percent of the generated trips are anticipated to enter/exit the developments using roadways to the south.

LEGEND

- XX% = Trip Distribution (In/Out)
- XX% = Trip Distribution (In)
- XX% = Trip Distribution (Out)
- Stop Sign Symbol = Stop Sign
- Roundabout Symbol = Roundabout



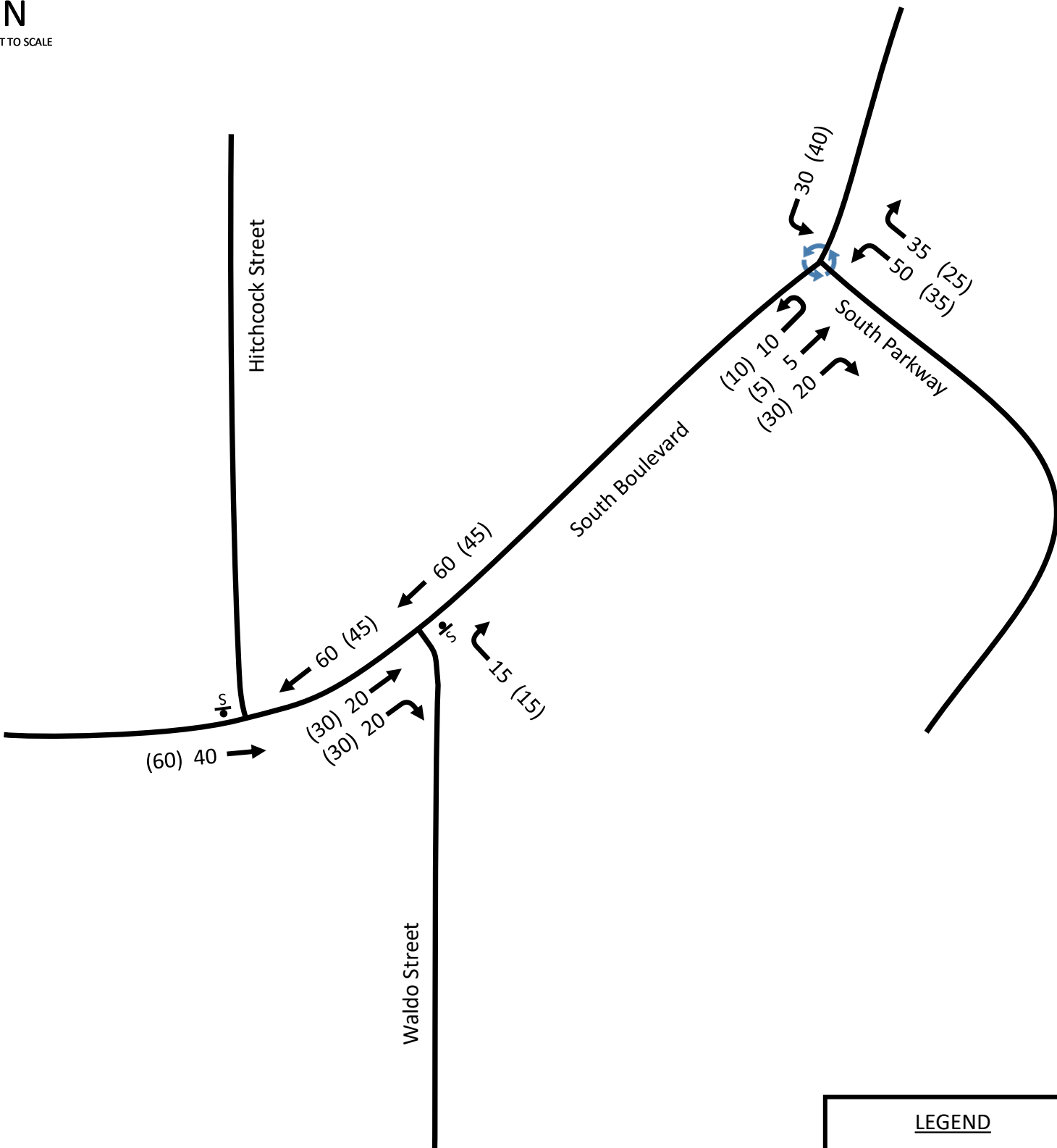
LEGEND

XX = AM Peak Hour

(XX) = PM Peak Hour

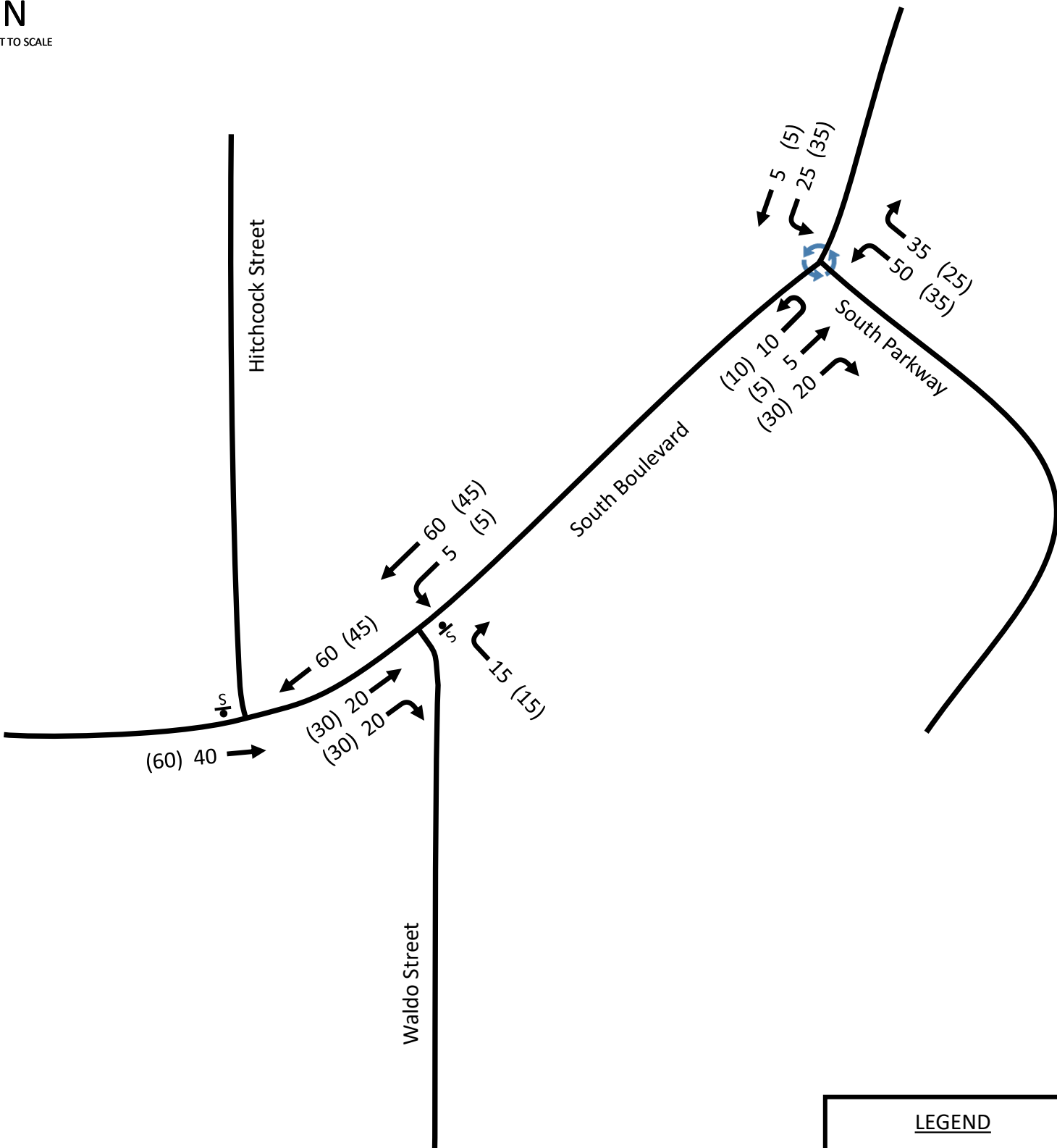
⊠ = Stop Sign

⦿ = Roundabout



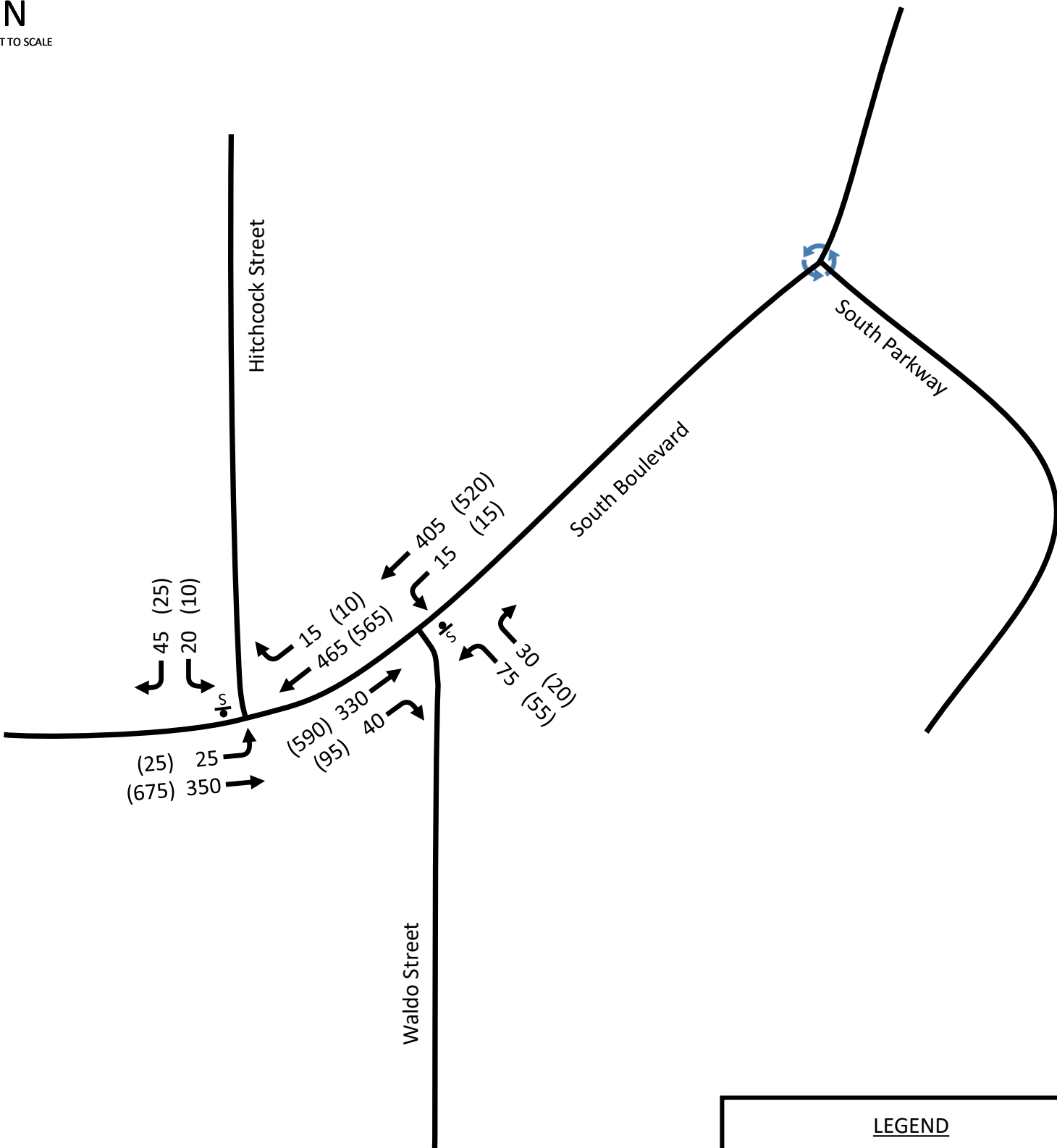
LEGEND

- XX = AM Peak Hour
- (XX) = PM Peak Hour
- Stop Sign Icon = Stop Sign
- Roundabout Icon = Roundabout



LEGEND


- XX = AM Peak Hour
- (XX) = PM Peak Hour
- ⊠ = Stop Sign
- ⤵ = Roundabout




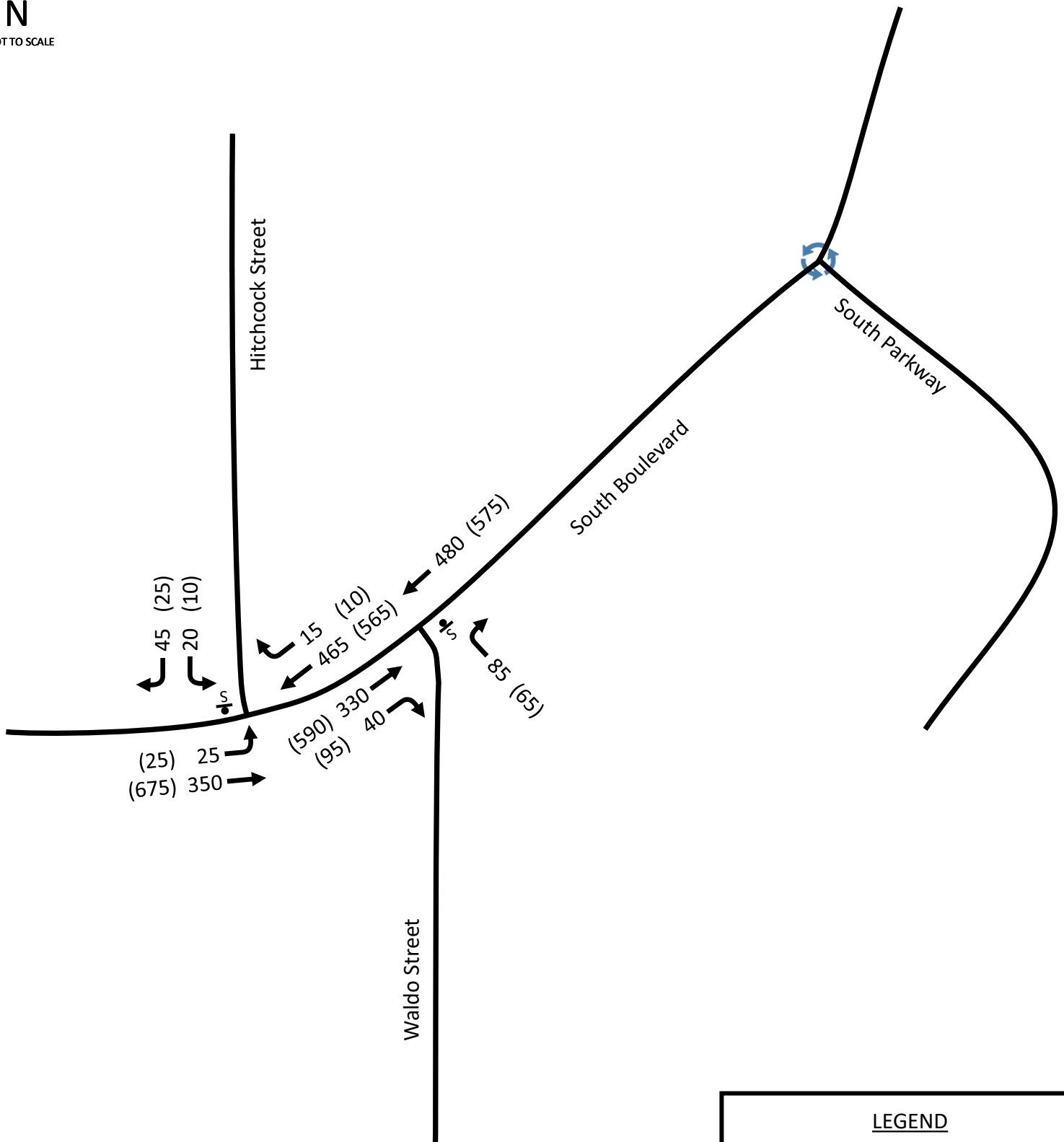
LEGEND

XX = AM Peak Hour (7:00 – 8:00AM)

(XX) = PM Peak Hour (3:45 – 4:45PM)

 = Stop Sign


 = Roundabout




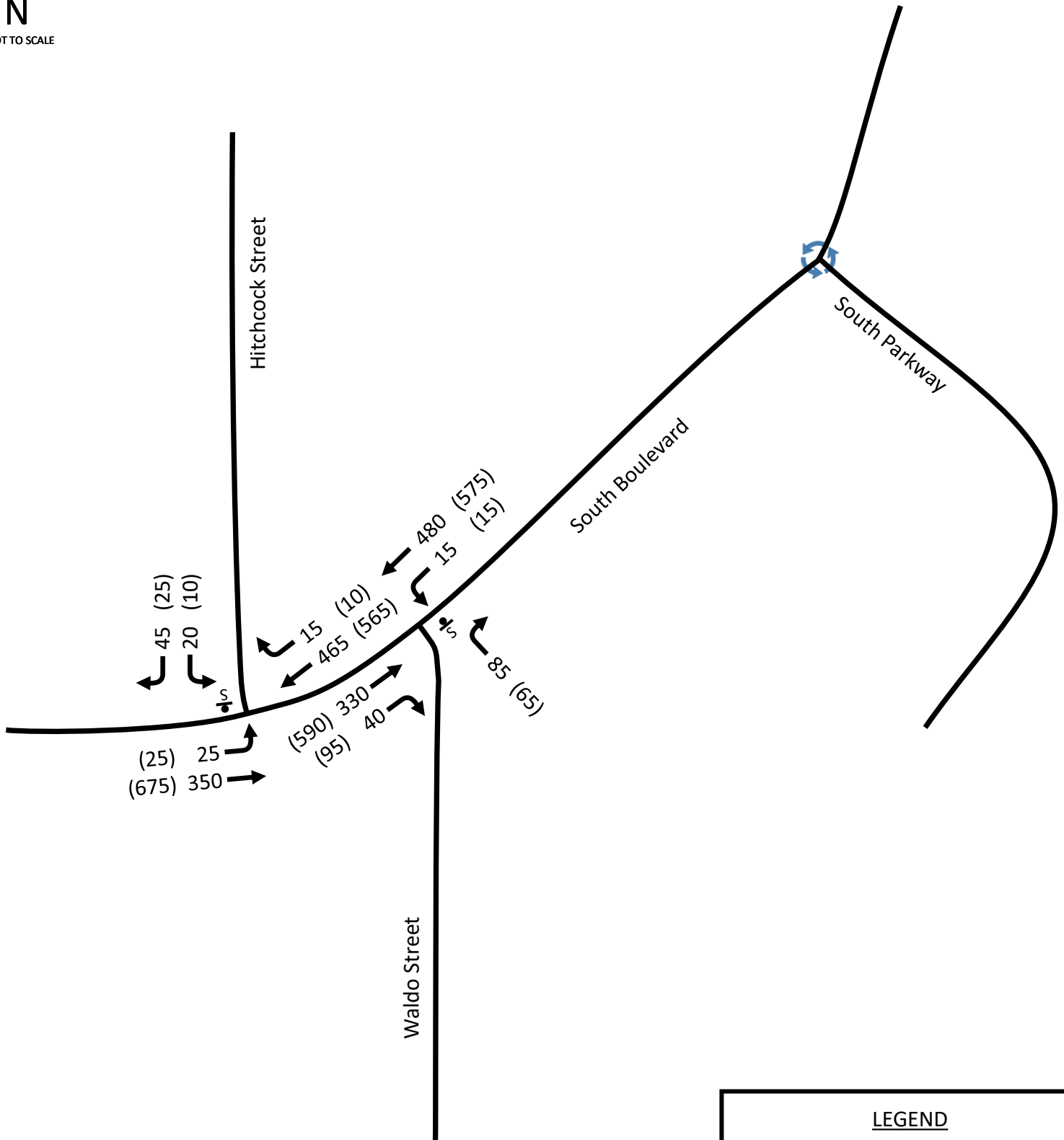
LEGEND

XX = AM Peak Hour (7:00 – 8:00AM)



(XX) = PM Peak Hour (3:45 – 4:45PM)

 = Stop Sign

 = Roundabout



LEGEND

- XX = AM Peak Hour (7:00 – 8:00AM)
- (XX) = PM Peak Hour (3:45 - 4:45PM)
-  = Stop Sign
-  = Roundabout

Level of Service by Movement - Build Traffic Volumes - Full Buildout

Intersection	Peak	Movement												Intersection
		Eastbound			Westbound			Northbound			Southbound			
		L	T	R	L	T	R	L	T	R	L	T	R	
South Boulevard & Hitchcock Street	AM	A	A			A	A				C		C	-
	PM	A	A			A	A				C		C	-
South Boulevard & Waldo Street	AM		A	A	A	A		C		C				-
	PM		A	A	A	A		C		C				-

Level of Service by Movement - Build Traffic Volumes - Waldo Street Right-in/Right-out

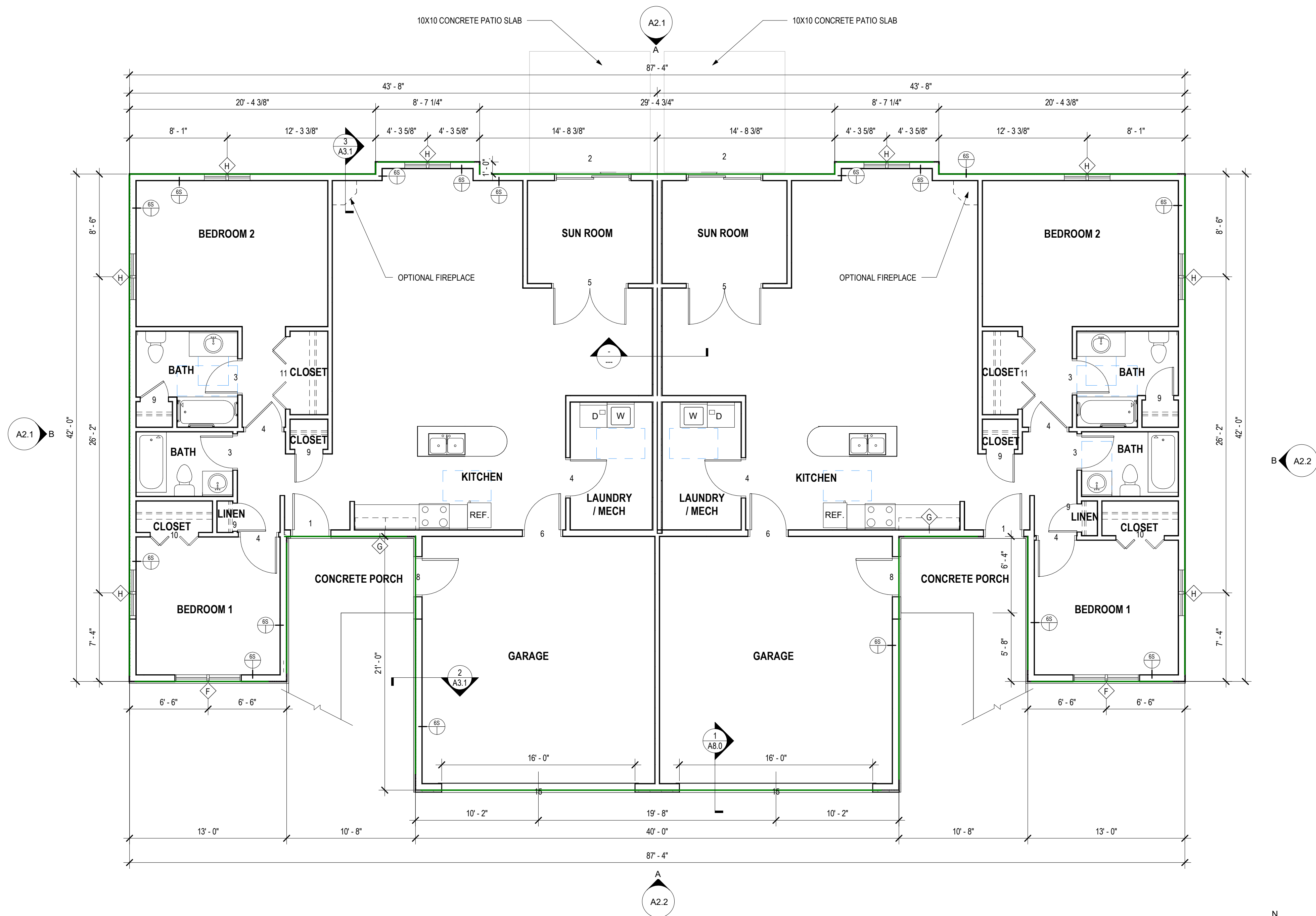
Intersection	Peak	Movement												Intersection
		Eastbound			Westbound			Northbound			Southbound			
		L	T	R	L	T	R	L	T	R	L	T	R	
South Boulevard & Hitchcock Street	AM	A	A			A	A				C		C	-
	PM	A	A			A	A				C		C	-
South Boulevard & Waldo Street	AM		A	A		A				B				-
	PM		A	A		A				B				-

Level of Service by Movement - Build Traffic Volumes - Waldo Street Right-in/Right-out/Left-in

Intersection	Peak	Movement												Intersection
		Eastbound			Westbound			Northbound			Southbound			
		L	T	R	L	T	R	L	T	R	L	T	R	
South Boulevard & Hitchcock Street	AM	A	A			A	A				C		C	-
	PM	A	A			A	A				C		C	-
South Boulevard & Waldo Street	AM		A	A	A	A				B				-
	PM		A	A	A	A				B				-

APPENDIX E

3/1/2023 3:50:02 PM BIM 360/Dimension IV Small Projects 202122036 - Baraboo Housing Master Plan.rvt



1 FIRST FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

- A. SEE SHEET A5.1 FOR LARGE SCALE UNIT PLANS.
- B. PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- C. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
- D. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- F. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- G. EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING UNLESS NOTED OTHERWISE.
- H. ADD GARBAGE DISPOSAL TO ALL KITCHEN SINKS, COORDINATE WITH PLUMBING AND ELECTRICAL

DIMENSION 
Madison Design Group

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6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionvmadison.com

LOUIS LANE, SMALL
DUPLEX
BARABOO, WI

DATE OF ISSUE: 03/01/2023

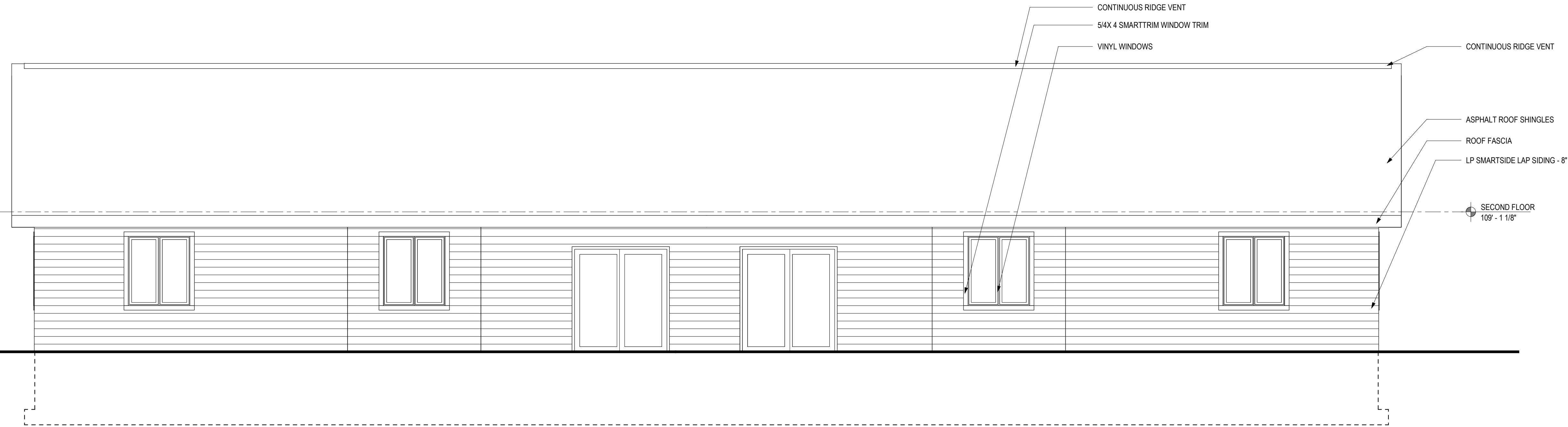
REVISIONS:

PROJECT # 22036

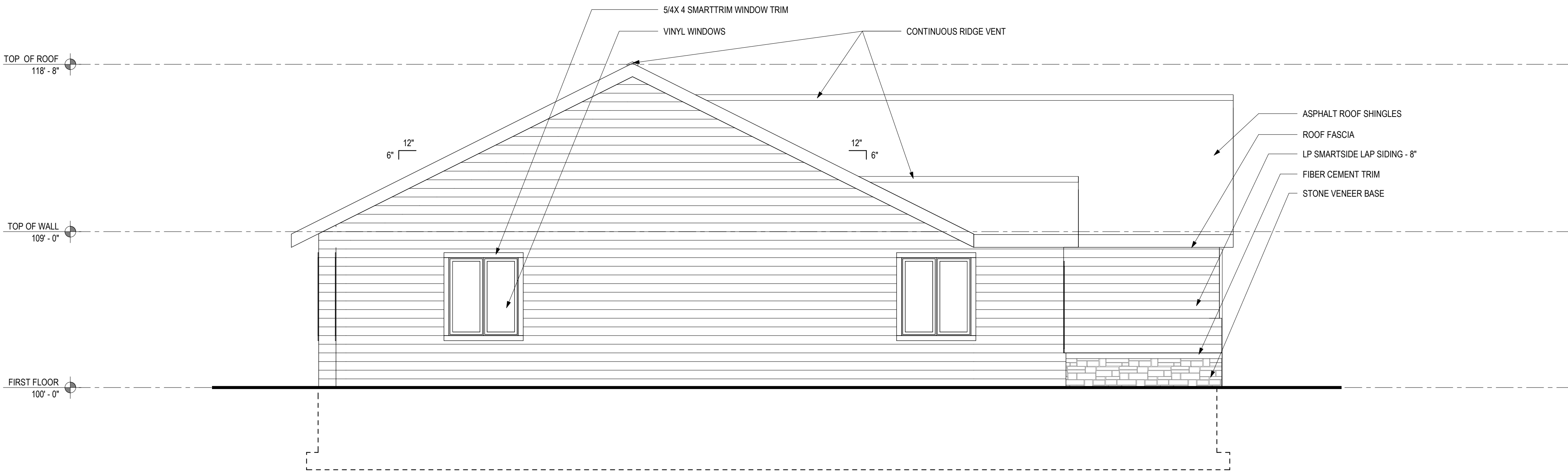
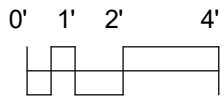
FIRST FLOOR PLAN

A1.1

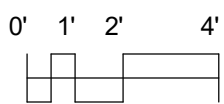
LOUIS LANE, SMALL
DUPLEX
BARABOO, WI



A BACK ELEVATION
1/4" = 1'-0"



B SIDE ELEVATION B
1/4" = 1'-0"



DATE OF ISSUE: 03/01/2023

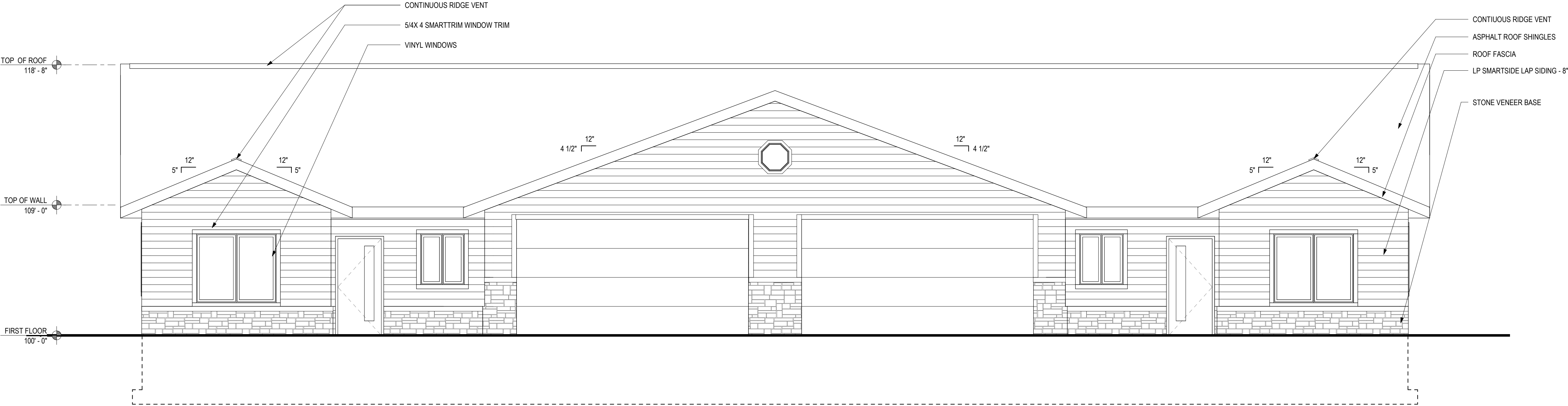
REVISIONS:

PROJECT # 22036

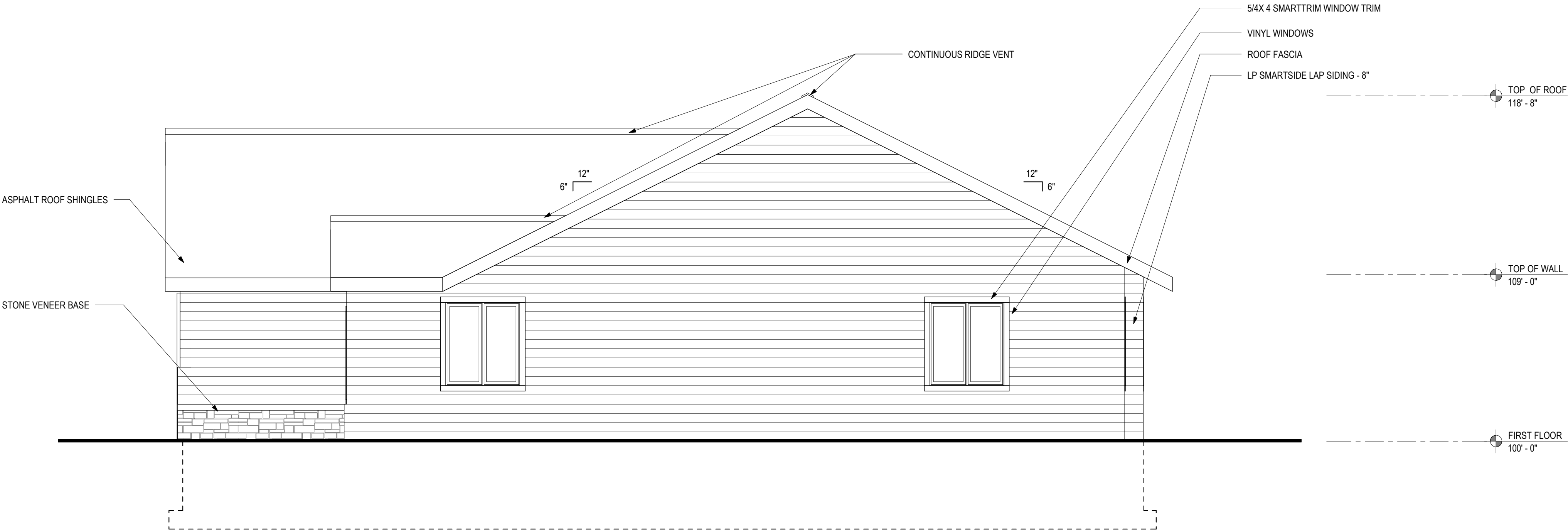
EXTERIOR
ELEVATIONS

A2.1

LOUIS LANE, SMALL
DUPLEX
BARABOO, WI



A FRONT ELEVATION
1/4" = 1'-0"



B SIDE ELEVATION A
1/4" = 1'-0"

DATE OF ISSUE: 03/01/2023

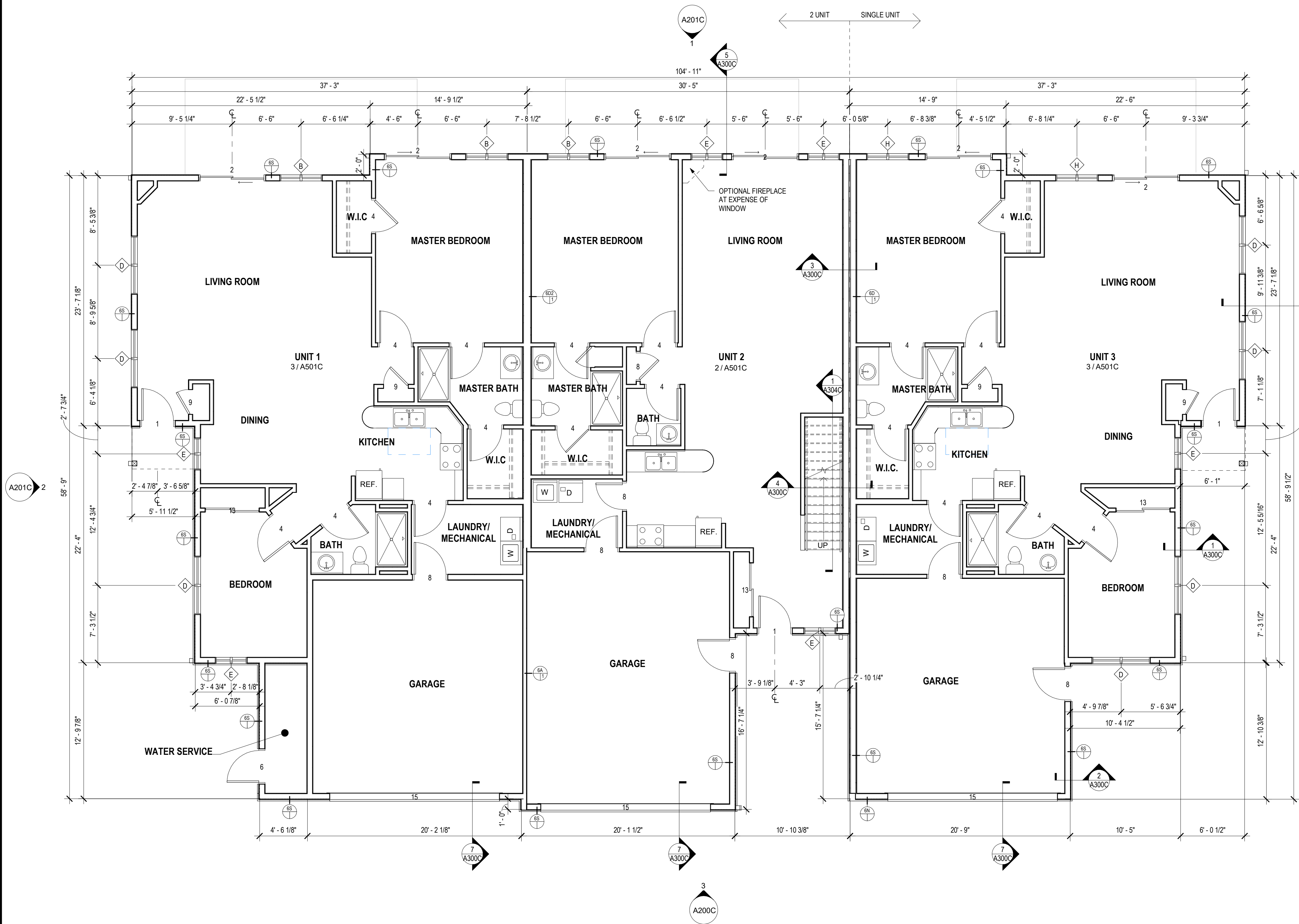
REVISIONS:

PROJECT # 22036

EXTERIOR
ELEVATIONS

A2.2

6/22/2023 2:51:10 PM BIM 360/Dimension IV Small Projects 202122036 - Baraboo Housing Master Plan.rvt



FLOOR PLAN GENERAL NOTES

- A. SEE SHEET A501C FOR LARGE SCALE UNIT PLANS.
- B. PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- C. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
- D. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- F. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- G. EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING UNLESS NOTED OTHERWISE.
- H. ADD GARBAGE DISPOSAL TO ALL KITCHEN SINKS, COORDINATE WITH PLUMBING AND ELECTRICAL.

FLOOR PLAN KEYNOTES

- 1. SEE STRUCTURAL DRAWINGS FOR POST AND CONCRETE SLAB SIZE AND LOCATION
- 2. REFER TO SHEET A304c FOR STAIR SECTIONS

LOUIS LANE,
SIDE BY SIDE 2
UNIT AND SINGLE
UNIT

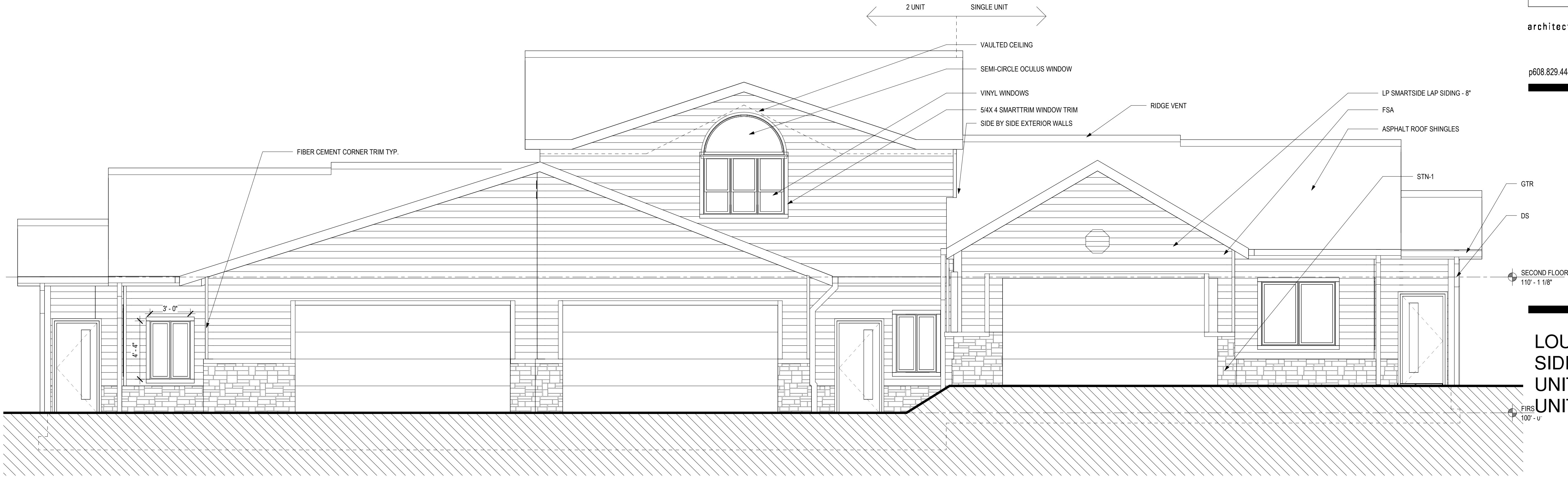
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PRELIMINARY
NOT FOR
CONSTRUCTION

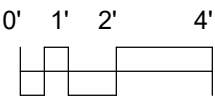
PROJECT # 22036

FIRST FLOOR PLAN

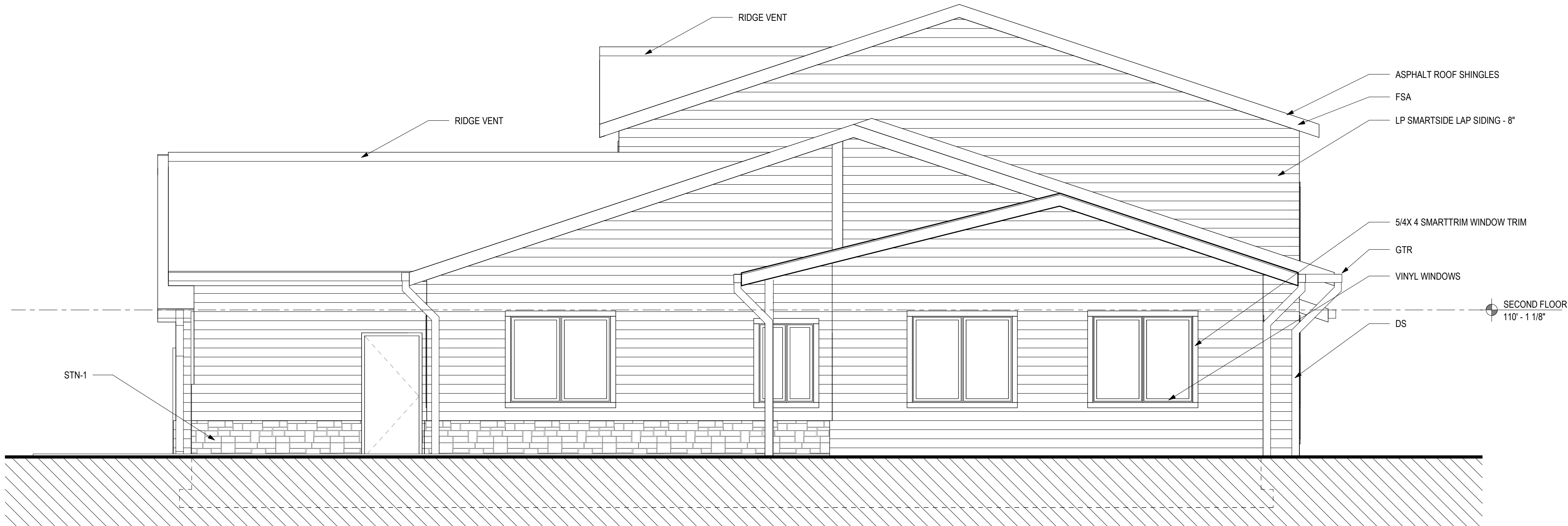
A100C



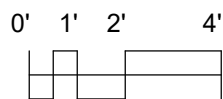
3 ELEVATION A (3 UNIT)
1/4\" = 1'-0\"



LOUIS LANE,
SIDE BY SIDE 2
UNIT AND SINGLE
UNIT



1 ELEVATION B (3 UNIT)
1/4\" = 1'-0\"



ELEVATION LEGEND & NOTES

MASONRY	COLOR	MORTAR
STN-1	STONE VENEER	COLOR
CNC	CONCRETE	COLOR
CJ	CONTROL JOINT	COLOR

PRE-FINISHED METAL	MANUFACTURER (COATED METALS GROUP)
DS	DOWNSPOUT
GTR	GUTTER
FSA	FASCIA
SFT	SOFFIT
FPV	FIREPLACE VENT

GENERAL NOTES

- A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.
- B. AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.
- C. REFER TO WINDOW TYPE SHEET A601C FOR ALL WINDOW INFORMATION.
- D. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.

DATE OF ISSUE: 06/22/2023

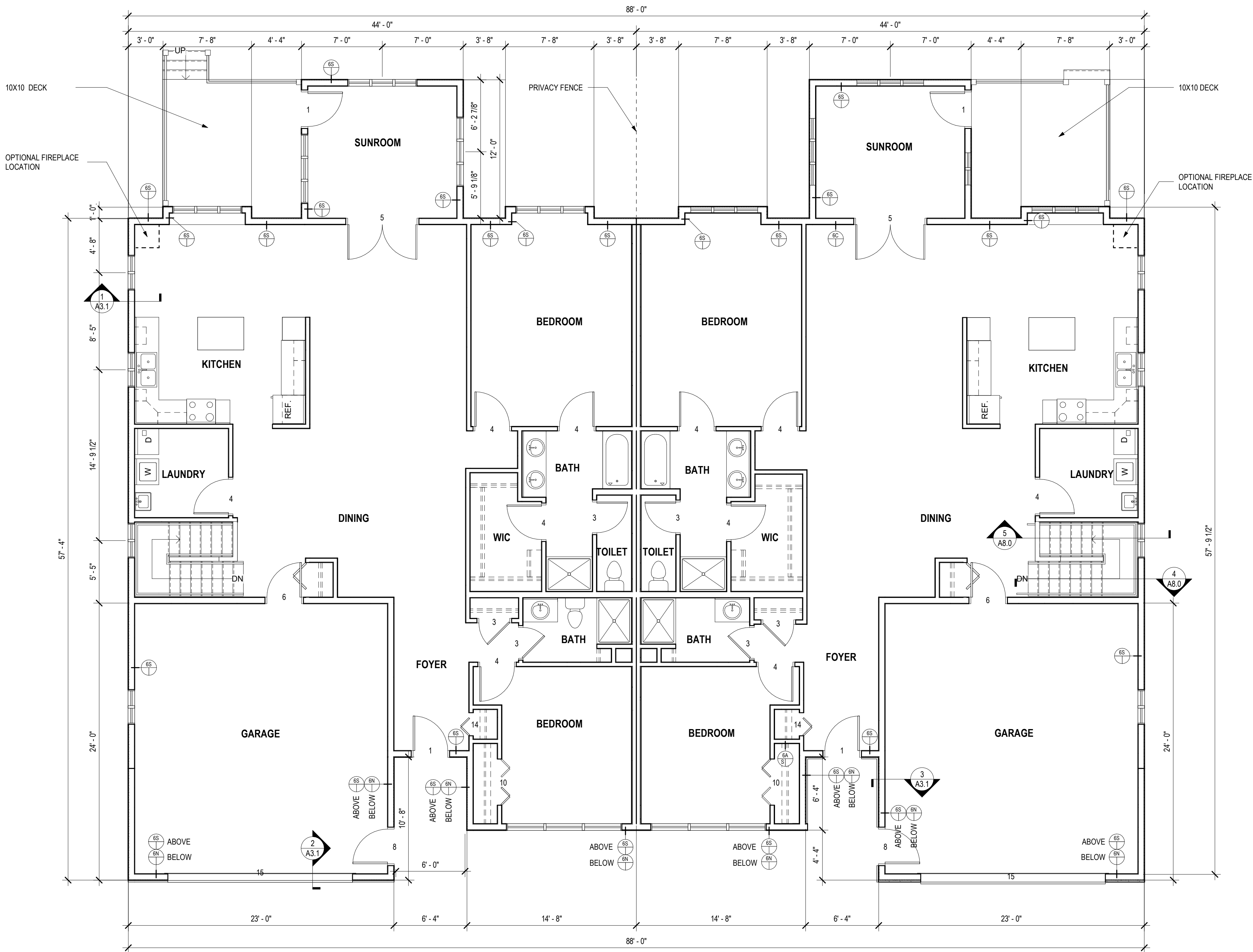
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT # 22036

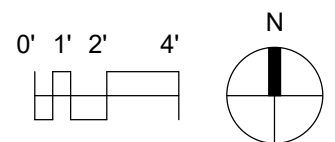
EXTERIOR
ELEVATIONS

A200C

6/23/2023 8:11:12 AM BIM 360/Dimension IV Small Projects 202122036 - Baraboo Housing Master Plan.rvt



1 FIRST FLOOR PLAN
3/16" = 1'-0"



FLOOR PLAN GENERAL NOTES

- A. SEE SHEET A501C FOR LARGE SCALE UNIT PLANS.
- B. PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- C. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER. TYPICAL.
- D. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- F. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- G. EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING UNLESS NOTED OTHERWISE.
- H. ADD GARBAGE DISPOSAL TO ALL KITCHEN SINKS, COORDINATE WITH PLUMBING AND ELECTRICAL.

DIMENSION 
Madison Design Group

architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com

LOUIS LANE, LARGE
DUPLEX WITH
BASEMENT
BARABOO, WI

DATE OF ISSUE: 06/22/2023

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT # 22036

FIRST FLOOR PLAN

A1.2

LOUIS LANE, LARGE
DUPLEX WITH
BASEMENT
BARABOO, WI

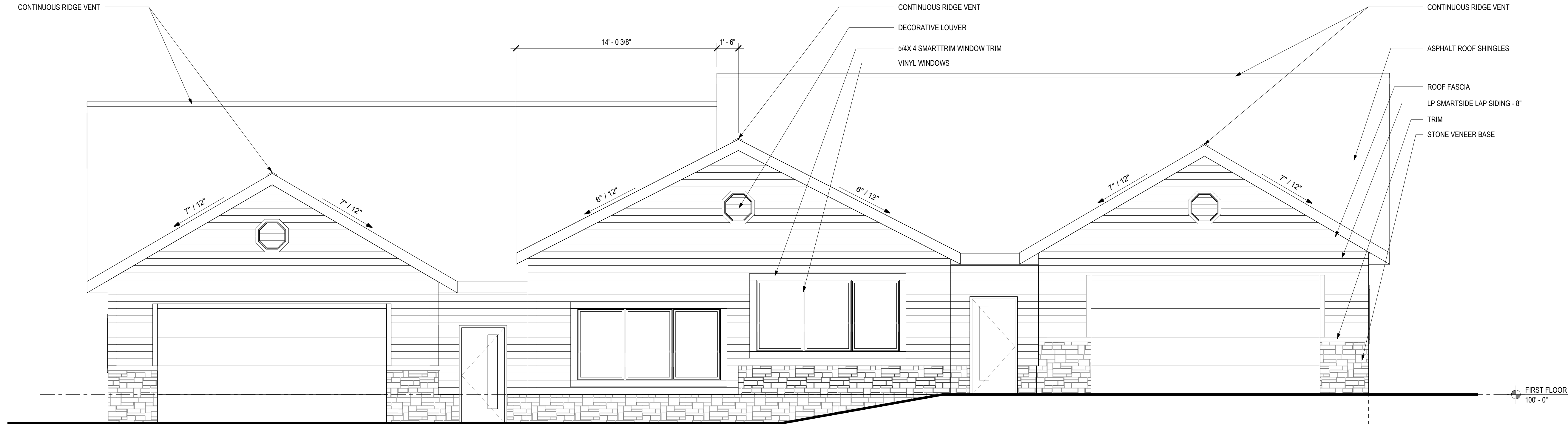
DATE OF ISSUE: 06/22/2023

PRELIMINARY
NOT FOR
CONSTRUCTION

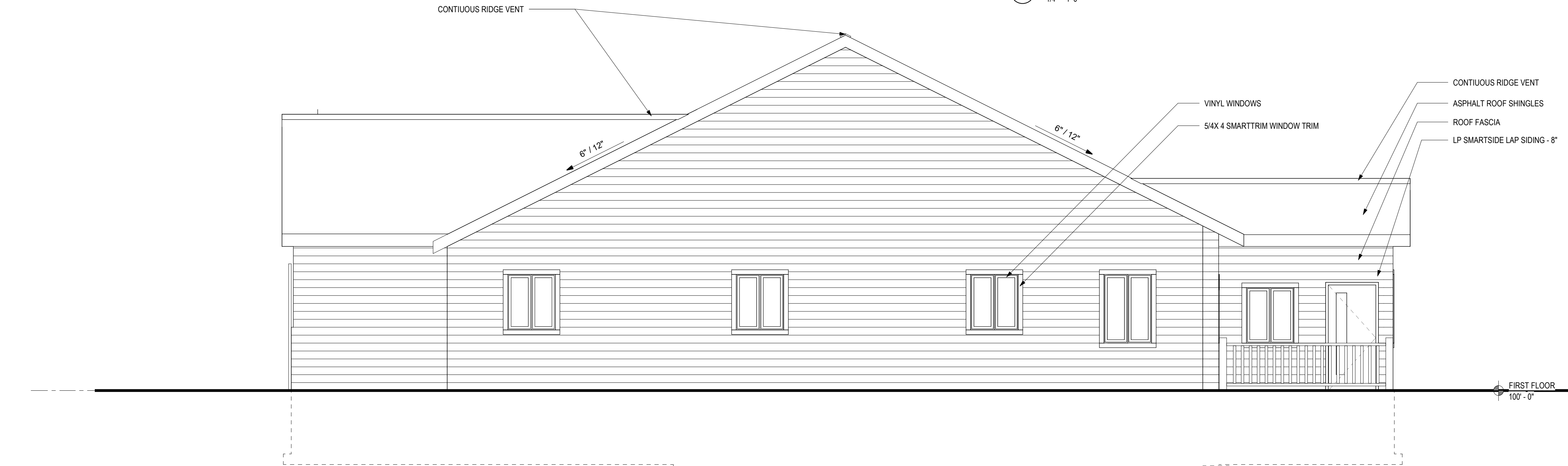
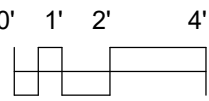
PROJECT # 22036

EXTERIOR
ELEVATIONS

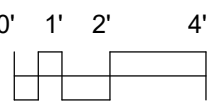
A2.1



A FRONT ELEVATION - LARGE DUPLEX
1/4" = 1'-0"



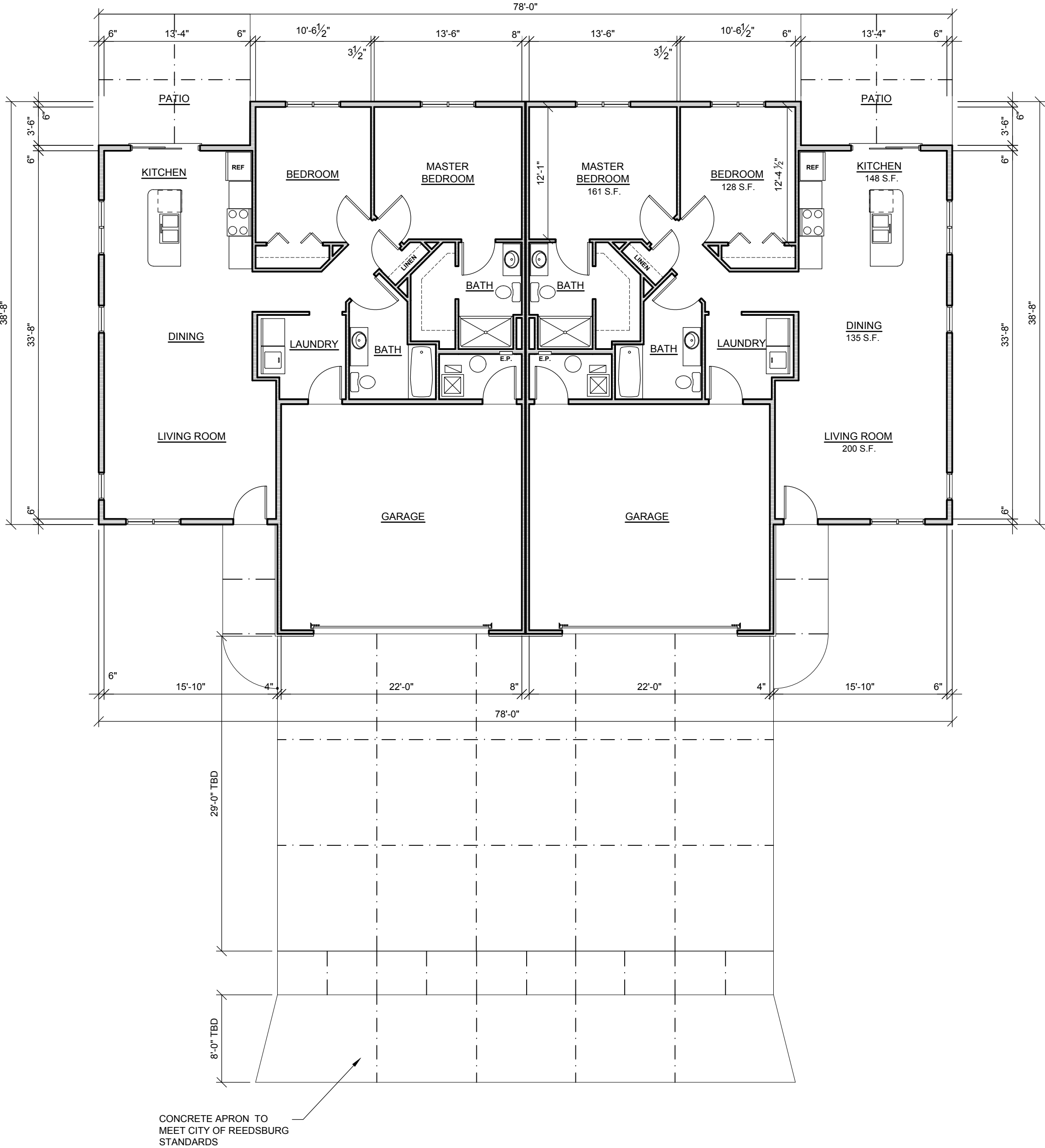
B SIDE ELEVATION B - LARGE DUPLEX
1/4" = 1'-0"





Blowfish Architects, llc

752 S. Grove St.
Ripon, WI 54971
920-810-5561
William F Hoch, AIA



2-BED / 2-BATH
FIRST FLOOR PLAN



UNIT AREA - FIRST FLOOR:	1,681 S.F.
TOTAL AREA:	3,362 S.F.
THE TOTAL AREA IS BASED UPON EXTERIOR FACE OF THE BUILDING FOOTPRINT	

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

Apartment Plans

Max Dvorak

PRELIMINARY

JANUARY 19, 2024
FEBRUARY 7, 2024
FEBRUARY 23, 2024

240110

SHEET

A1.1

APPENDIX F

PART OF BARABOO BLUFFS CONDOMINIUM PLAT, PHASE I, LOCATED IN PART OF THE SW ¼ – SE ¼ AND PART OF THE SE ¼ – SW ¼, SECTION 2, TOWNSHIP 11 NORTH, RANGE 06 EAST, CITY OF BARABOO, SAUK COUNTY, WISCONSIN.



The City of Baraboo, Wisconsin

Background: The Sewer Utility requested Visu-Sewer to revise their quote for our 2024 CIPP work. On the Hwy 33 Project, all sanitary sewer mains are scheduled for replacement; however one 8" sewer main, under 8th Ave from Prevail Bank to the river interceptor, (see attached photo,) needed further examination. Conventional replacement would be extremely difficult and costly. There is a significant grade change, so excavating the main would be challenging. During the last 8th Ave reconstruction, there was large amount of geogrid that was laid under the street to secure the bank by the end of the river walk pavement. The contractor would have to cut through this geogrid to install a new main. That would weaken the support for the rock retaining wall. After extensive review, it was determined that CIPP would be the best rehabilitation option.

The price per foot increase for this short 8" main, versus the 15" main, is due to the amount of setup and bypassing for this portion.

The increased cost for this section of main is \$25,004. This increase would be added to the Hwy 33 Project construction cost, not the 2024 sewer maintenance budget. Negotiations are underway with the contractor and engineering firm regarding the financial support that could be provided for this change order.

Fiscal Note: ☐ one ☒ Not Required ☒ Budgeted Expenditure ☐ Not Budgeted
Comments:

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the amended 2024 Visu-Sewer quote of \$128,954 be approved for the sanitary sewer Cast-In-Place Pipe (CIPP) rehabilitation.

Offered by: Finance Committee

Motion:

Second:

Approved: _____

Attest: _____

QUOTATION – REVISED 3/18/24

BARABOO, WI - 15 IN. CIPP PROJECT + 8 IN. ADD-ON

Proposal Due: Wednesday, February 7th, 2024 @ 11:00 A.M.

<u>Item #</u>	<u>Description</u>	<u>Est.Qty.</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total Prices</u>
1	Mobilization	1	LS	\$3,500.00	\$3,500.00
2	Pre-Lining Cleaning & Televising 15"	1400	LF	\$3.00	\$4,200.00
3	Pre-Lining Cleaning & Televising 8"	140	LF	\$3.00	\$420.00
4	Furnish & Install 15" sanitary 6.0mm CIPP	1400	LF	\$68.75	\$96,250.00
5	Furnish & Install 8" sanitary 6.0mm CIPP	140	LF	\$175.60	\$24,584.00
				TOTAL:	\$128,954.00

Unit prices provided include labor and equipment in accordance with the plans and work performed per ASTM F1216 and Wisconsin Construction Standards pursuant to the following conditions:

- All items are considered tied unless approved in writing.
- Owner to provide water from nearby hydrant(s), access to manhole locations, and a location to store equipment outside of working hours.
- Pricing includes submittal of Post-Lining Videos & Reports upon completion.
- Quote is initially assumed to be just one round-trip mobilization for each crew/equipment. If unplanned mobilizations are required potential additional cost may be applied.
- Revised to include approx. 137' of 8" between MH#s 35418 – 35509 after point repair by others.

Thank you for the opportunity to quote this project. If you have questions regarding this quotation, please contact Randy Bieri at 800-876-8478.

All material guaranteed to be as specified. All work to be completed in a substantial workmanlike manner according to specifications submitted, per standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. This proposal may be withdrawn if not accepted within 30 days of issue. Time and material rates are charges "port to port". Terms - Net 30 days.

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. Visu-Sewer, Inc. is authorized to do the work as specified.

Signature: _____ Date: _____

Visu-Sewer, LLC

W230 N4855 Betker Dr, Pewaukee, WI 53072 (P) 800-876-8478 / 262-695-2340 (F) 262-695-2359

Equal Employment Opportunity/Affirmative Action Employer

The City of Baraboo, Wisconsin

Well No. 6 (WUWN HN579) is located next to Sysco on Sauk Ave. The well was constructed in 1976 by CTW Corporation and was reconstructed in 1999 to with a 12-inch liner. The well is equipped with a 900 gpm vertical turbine pump. Well #6 history is that it has always had the highest levels of manganese. The well's last major maintenance was completed in 2014. The manganese levels have gradually increased over time. CTW Corporation completed major maintenance in 2023, at that time some additional well treatment was completed with the hopes that it would reduce the manganese levels. It did not.

Water Well Solutions is proposing a very different type of solution for reducing the amount of manganese pumped from the well. Their proposal would Nitroburst the formation and chemically treat the well with PM-77 well conditioner. They would reset the pump at a different depth and install suction control device. This would allow the pump to pull water from the better parts of the formation.

The proposal for this project is \$58,565. The funds for this would be moved from the cancelled Oak St reservoir restoration project.

Fiscal Note: (check one) () Not Required [] Budgeted Expenditure [X] Not Budgeted
Comments

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

The Utility Superintendent is authorized to sign the agreement with Water Well Solutions for the amount of \$58,565.00, as shown upon in the attached agreement, for the maintenance of Well No. 6.

Offered by: Public Safety Committee.

Approved: _____

Motion:

Second:

Attest: _____



April 16th, 2024

City of Baraboo - Office of the Utility Superintendent
450 Roundhouse Ct.
Baraboo, WI 53913
Attn: Wade Peterson

RE: Well #6 Rehabilitation

Dear Wade,

Please refer to our correspondence dated April 24, 2023, for the detailed report provided outlining our approach for the proper rehabilitation of Well #6, as well as the recommendations for the installation of a Lamnaflo Suction Flow Control device to promote water from the lower formations in an attempt to reduce the Manganese levels. We are in receipt of the information you provided regarding the work completed by CTW in 2023, as we have agreed to assume that no repairs will be required to the pump to assure proper running operation.

In order to meet with your budget constraints, we propose to limit the work to the following work scope:

- Pull the pump. Wire brush the casing and bail any fill withing the borehole. Televise the well to review the current condition of the sandstone formation, especially right below the casing.
- Utilize the Nitroburst® Technology to rehabilitate the well to remove any mineralogical (Mn & Fe?) buildup and re-expose the native formation. This process may increase the well yield to raise the pumping level up inside the casing to no longer expose the sandstone to air. We can also focus the rehabilitation efforts on the lower formation in an attempt to increase the blending water from the lower portion of the well.
- Chemical Treatment will consist of injecting Pantonite's PM-77 Well Conditioner into the well prior to, and during the Nitroburst process. PM-77 has a remarkable affinity for dissolving and removing Fe & Mn deposits from the borehole and formation. PM-77 also contains strong bactericidal properties to assist with the complete and final sterilization of the well. This solution will be surged in and out of every foot of the exposed formation by the water surge action created by the Nitroburst® Technology. Please see the attached information.
- Reinstall the existing pumping equipment with a shallower pump setting of 230', with two additions:
 - Utilize a Lamnaflo Suction Flow Control Device to dissipate the suction energy of the pump to promote the production of more water from the lower formation in the well. This blend of water may be lower in Mn & Fe assuming the Mn & Fe is truly being generated by surface contaminants, and/or the upper sandstone formation being exposed to air which can be further supported by the WG&NHS logging.
 - Utilize the existing VFD to efficiently control the speed of the pump to assure that the pumping level always remains up inside the casing pipe. This could be automatically controlled by introducing an input from the down hole transducer that would control the pump's speed to maintain a given pumping level.



Please accept our cost proposal as offered below. This proposal is based upon the information offered above. Should further questions or comments arise, please feel free to contact our office. We sincerely appreciate this opportunity and look forward to assisting the City of Baraboo with rehabilitating and preserving this most valuable asset. A Certificate of Insurance will be provided at the time of award.

Most sincerely,

Philip Judkins
Water Well Solutions Wisconsin & Illinois, LLC

City of Baraboo – Well #6 Rehabilitation

Base Bid includes:

1. Mobilize and Demobilize
2. Removal pumping equipment
3. TV well before and after brushing/bailing
4. Brush casing and bail bore hole (One 10 hr. day included)
5. Replace airline, reinstall water level transducer
6. Reinstall pump and tape wrap joints
7. Disinfect and collect 2 samples 8 hours apart as required

Base Bid Price Total Cost: \$14,700.00

Rehabilitation Options

Item #	Item Description	Units	Unit Price
1	Furnish Nitroburst® Technology Equipment	Each	\$900.00
2	Install and Remove Nitroburst® Technology Equipment	VF	\$900.00
3	Nitroburst® @ 5 bursts per foot	VF	\$6,870.00
4	Bailing after Nitroburst® process	Per Hour	\$330.00
5	Chemical Treatment of Well (PM-77 Treatment)	Each	\$6,970.00
6	Test Pumping & Purging	Per Hour	\$280.00
7	Lamnaflo Suction Flow Control Device furnish and install	Complete	\$27,615.00

Estimated Total Cost: \$58,565.00

Approved by: _____

Signed: _____

Date: _____

RESOLUTION NO. 2024 –

Dated: May 14, 2024

The City of Baraboo, Wisconsin

Background. The City of Baraboo entered into an Intergovernmental Agreement that created the Baraboo Area Fire & EMS District (District). As part of the Intergovernmental Agreement, all parties agreed to fund the Fire Equipment Replacement Fund.

While the City acknowledges their current contribution balance, The District has requested that the City authorize the signing of the Fire Equipment Replacement Fund Agreement.

This will be reviewed by the Finance/Personnel committee at their May 14th, 2024 meeting.

Budgeting Note: ☐ Not Required ☒ Budgeted Expenditure ☐ Not Budgeted
Comments:

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

WHEREAS, the District was created effective January 1, 2023, to provide fire and emergency medical services to the City of Baraboo, Village of West Baraboo, Town of Baraboo, Town of Fairfield, and the Town of Greenfield (the "**Members**"); and

WHEREAS, prior to the creation of the District, the Members received fire protection services from the City of Baraboo Fire Department (the "**Baraboo FD**"), whose duties were assumed by the District upon its creation; and

WHEREAS, during the time the Members received service from the Baraboo FD, the City created and managed a Fire Equipment Replacement Fund (the "**Fund**") for the purpose of ensuring funds were available to replace the Baraboo FD's fire equipment as needed; and

WHEREAS, pursuant to the intergovernmental agreement in existence during the period the Members received fire protection services from the Baraboo FD, the Members were assessed certain amounts by the City in order to fund the Fund; and

WHEREAS, during this same period of time the non-City Members paid the amounts assessed, but the City did not; and

WHEREAS, the parties desire to memorialize the amounts the City owes to the Fund and provide a timeline for it to pay the amounts owed.

NOW, THEREFORE, the City Council authorizes the Mayor and City Clerk to sign the Fire Equipment Replacement Fund Agreement and remit a payment of \$856,150.62 to resolve the outstanding City balance through December 31, 2023.

Offered by: Finance/Personnel Comm.

Approved: _____

Motion:

Second:

Attest: _____

AGREEMENT TO FUND THE FIRE EQUIPMENT REPLACEMENT FUND

THIS AGREEMENT (the "**Agreement**") is entered into as of the last date of signature below (the "**Effective Date**"), by and between the City of Baraboo, a Wisconsin municipal corporation (the "**City**") and the Baraboo Area Fire & EMS District, an intergovernmental entity created pursuant to section 66.0301 of the Wisconsin Statutes (the "**District**").

WHEREAS, the District was created effective January 1, 2023, to provide fire and emergency medical services to the City of Baraboo, Village of West Baraboo, Town of Baraboo, Town of Fairfield, and the Town of Greenfield (the "**Members**"); and

WHEREAS, prior to the creation of the District, the Members received fire protection services from the City of Baraboo Fire Department (the "**Baraboo FD**"), whose duties were assumed by the District upon its creation; and

WHEREAS, during the time the Members received service from the Baraboo FD, the City created and managed a Fire Equipment Replacement Fund (the "**Fund**") for the purpose of ensuring funds were available to replace the Baraboo FD's fire equipment as needed; and

WHEREAS, pursuant to the intergovernmental agreement in existence during the period the Members received fire protection services from the Baraboo FD, the Members were assessed certain amounts by the City in order to fund the Fund; and

WHEREAS, during this same period of time the non-City Members paid the amounts assessed, but the City did not; and

WHEREAS, the parties desire to memorialize the amounts the City owes to the Fund and provide a timeline for it to pay the amounts owed.

NOW, THEREFORE, in consideration of the mutual covenants contained in this Agreement and for other good and valuable consideration, the receipt and sufficiency of which are hereby mutually acknowledged, the parties agree as follows:

1. FUND MANAGEMENT. Within 30 days after the Effective Date, the City shall transfer all amounts held in the Fund to the District and provide a full accounting to the District of the amounts so transferred. Thereafter the District shall manage the Fund and account to the Members of all funds so held in accordance with the District intergovernmental agreement and bylaws.

2. CITY ARREARAGE. The parties agree that as of the Effective Date the City owes \$856,150.62 to the Fund (the "Arrearage"), for assessed amounts through year ended 2023.

3. CITY PAYMENT. The City shall pay the full amount of the Arrearage to the Fund within 180 days after the Effective Date. Provided the City timely makes such payment in full the District waives all right to any interest on the Arrearage.

[Signature Page Follows]

IN WITNESS WHEREOF, the parties have executed this Agreement effective as of the last date of signature below.

CITY OF BARABOO

By: _____
Rob Nelson, Mayor

Date

Attest: _____
Brenda Zeman, City Clerk

Date

BARABOO AREA FIRE & EMS DISTRICT

By: _____
Joel Petty, President

Date

Fire Equipment Replacement Fund

Contributions the City did not make

	All Aparatus		Ladder Truck	Total	Paid by City	Paid by City - Ladder	Running Total		Paid to buy Rural Equip	Equipment Purchased	Equipment Sold Interest earned	Balance In the Fund
	Except Ladder						Amount Short by Year	of Amount Short				
2006	\$ 175,067.98		\$ 175,067.98	\$ 175,067.98	\$ 16,840.00		\$ 158,227.98	\$ 158,227.98	\$ 40,000.00	\$ 17,594.06	\$ (1,184.68)	\$ (24,344.68)
2007	\$ 163,246.61		\$ 163,246.61	\$ 163,246.61	\$ 66,747.00	\$ 200,218.00	\$ 96,499.61	\$ 254,727.59	\$ 40,000.00	\$ 17,594.06	\$ 6,417.38	\$ 191,443.64
2008	\$ 165,263.19		\$ 165,263.19	\$ 165,263.19	\$ 122,029.00	\$ 202,245.00	\$ 43,234.19	\$ 297,961.78	\$ 40,000.00		\$ 5,488.12	\$ 481,205.76
2009	\$ 148,922.53		\$ 148,922.53	\$ 148,922.53	\$ 188,940.00	\$ 195,000.00	\$ (40,017.47)	\$ 257,944.31	\$ 40,000.00	\$ 602,164.39	\$ 6,632.03	\$ 229,613.40
2010	\$ 152,368.55		\$ 152,368.55	\$ 152,368.55	\$ 196,150.00	\$ 110,425.00	\$ (43,781.45)	\$ 214,162.86	\$ 40,000.00	\$ 186,909.88	\$ 70,749.12	\$ 380,027.64
2011	\$ 112,457.82	\$ 94,385.29	\$ 206,843.11	\$ 206,843.11	\$ 95,812.00		\$ 111,031.11	\$ 325,193.97	\$ 40,000.00	\$ 26,760.65	\$ 47,869.26	\$ 456,948.25
2012	\$ 99,098.86	\$ 94,632.34	\$ 193,731.20	\$ 193,731.20	\$ 50,000.00		\$ 143,731.20	\$ 468,925.17	\$ 40,000.00	\$ 19,651.73	\$ 7,647.05	\$ 454,943.57
2013	\$ 123,462.09	\$ 77,609.18	\$ 201,071.27	\$ 201,071.27	\$ 240,000.00		\$ (38,928.73)	\$ 429,996.44	\$ 40,000.00	\$ 384,256.89	\$ 13,245.25	\$ 283,931.93
2014	\$ 129,588.59	\$ 72,270.76	\$ 201,859.35	\$ 201,859.35	\$ 240,000.00		\$ (38,140.65)	\$ 391,855.79	\$ 40,000.00	\$ 25,780.71	\$ 6,730.30	\$ 464,881.52
2015	\$ 129,681.98	\$ 77,488.34	\$ 207,170.32	\$ 207,170.32	\$ 190,000.00		\$ 17,170.32	\$ 409,026.11	\$ 40,000.00		\$ 3,968.67	\$ 618,850.19
2016	\$ 129,594.95	\$ 77,519.96	\$ 207,114.91	\$ 207,114.91	\$ 240,000.00		\$ (32,885.09)	\$ 376,141.02	\$ 40,000.00	\$ 25,366.36	\$ 6,521.73	\$ 840,005.56
2017	\$ 108,101.62	\$ 77,699.84	\$ 185,801.46	\$ 185,801.46	\$ 200,000.00		\$ (14,198.54)	\$ 361,942.48	\$ 412,594.75	\$ 412,594.75	\$ 10,697.11	\$ 638,107.92
2018	\$ 147,100.65	\$ 77,307.47	\$ 224,408.12	\$ 224,408.12	\$ 220,000.00		\$ 4,408.12	\$ 366,350.60		\$ 28,466.19	\$ 28,466.19	\$ 886,574.11
2019	\$ 141,938.86	\$ 77,150.62	\$ 219,089.48	\$ 219,089.48	\$ 200,000.00		\$ 19,089.48	\$ 385,440.08		\$ 49,818.11	\$ 22,007.44	\$ 1,058,763.44
2020	\$ 141,832.81	\$ 77,662.69	\$ 219,495.50	\$ 219,495.50	\$ 20,000.00		\$ 199,495.50	\$ 584,935.58		\$ 178,824.68	\$ 18,757.08	\$ 918,695.84
2021	\$ 143,488.77	\$ 77,937.56	\$ 221,426.33	\$ 221,426.33	\$ 7,762.52		\$ 213,663.81	\$ 798,599.39			\$ 4,579.49	\$ 931,037.85
2022	\$ 145,194.36	\$ 77,978.32	\$ 223,172.68	\$ 223,172.68	\$ 157,404.00		\$ 65,768.68	\$ 864,368.07		\$ 246,915.46	\$ 2,379.02	\$ 843,905.41
2022-490					\$ 55,474.91		\$ (55,474.91)	\$ 808,893.16		\$ 234,019.57	\$ 72,089.51	\$ 899,380.32
2023			\$ 204,661.46	\$ 204,661.46	\$ 157,404.00		\$ 47,257.46	\$ 856,150.62	\$ 400,000.00	\$ 2,176,637.67	\$ 333,060.07	\$ 894,854.26
			\$ 3,520,714.05	\$ 3,520,714.05	\$ 2,664,563.43	\$ 707,888.00	\$ 856,150.62		\$ 400,000.00	\$ 2,176,637.67	\$ 333,060.07	

The old ladder truck was still in play. The City saved money over these few years to pay for it, check actual budget. I believe the mini pumper was sold, creating less allocation

BARABOO AREA JOINT FIRE AND EMS DISTRICT
RESOLUTION NO. 2024-07

FIRE EQUIPMENT REPLACEMENT FUND LETTER OF AGREEMENT

WHEREAS, the Baraboo Area Fire and EMS District (the “**District**”) was created effective January 1, 2023, to provide fire and emergency medical services to the City of Baraboo (the “**City**”), Village of West Baraboo, Town of Baraboo, Town of Fairfield, and the Town of Greenfield (the “**Members**”); and

WHEREAS, prior to the creation of the District, the Members received fire protection services from the City of Baraboo Fire Department (the “**Baraboo FD**”), whose duties were assumed by the District upon its creation; and

WHEREAS, during the time the Members received service from the Baraboo FD, the City created and managed a Fire Equipment Replacement Fund (the “**Fund**”) for the purpose of ensuring funds were available to replace the Baraboo FD’s fire equipment as needed; and

WHEREAS, pursuant to the intergovernmental agreement in existence during the period the Members received fire protection services from the Baraboo FD, the Members were assessed certain amounts by the City to fund the Fund; and

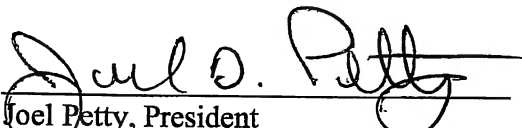
WHEREAS, during this same period the non-City Members paid the amounts assessed, but the City did not; and

WHEREAS the parties desire to memorialize the amounts the City owes to the Fund and provide a timeline for it to pay the amounts owed.

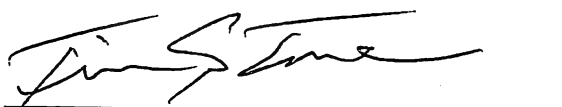
NOW, THEREFORE, BE IT RESOLVED by the Commission that the Baraboo Area Joint Fire and EMS District does hereby approve the attached AGREEMENT TO FUND THE FIRE EQUIPMENT REPLACEMENT FUND and forwarding of said agreement to the City of Baraboo Common Council for approval.

Adopted this 24th day of April 2024.

BARABOO AREA JOINT FIRE AND EMS DISTRICT

By: 
Joel Petty, President

ATTEST:


Tim Stone, Secretary/Treasurer

The City of Baraboo, Wisconsin

Background : Since the General Development Plan (GDP) for Baraboo Bluffs Estates was previously approved and the Specific Implementation Plan for Phase 1 of Baraboo Bluffs Estates has just been approved, the Developer is requesting approval of the Final Plat of Baraboo Bluffs Estates. The Final Plat encompasses the entire 17.50-acre site and includes a total of 12 lots. Lots 1 and 12 are the north and south “remnants” of the property outside of the developed area and they will be subdivided as part of future SIP phases. Lots 2 through 5 and lots 9 and 10 each contain a single unit of side-by-side attached single-family residential dwellings and meet the applicable requirements of Section 17.37(9) of the Zoning Code. Lots 6 thru 8 each contain a single unit of side-by-side attached single-family residential dwellings. Lot 11 is scheduled to be developed with a two unit building that will be subsequently divided to create two side-by-side attached single-family residential dwellings.

The Plan Commission reviewed the Final Plat at their April 16th meeting and unanimously recommended its approval.

Fiscal Note: (☒ one) [☒ Not Required] [☐ Budgeted Expenditure] [☐ Not Budgeted]
Comments:

WHEREAS, the Plan Commission approved the General Development Plan (GDP) as well as the Phase 1 Specific Implementation Plan (SIP) for Baraboo Bluffs Estates, being Lot 1 of Sauk County Certified Survey Map No. 7231 and part of Lots 3 & 4 of Sauk county Certified Survey Map No. 2184, all located in the SW ¼ of the SE ¼ and part of the SE ¼ of the SW ¼ of Section 2, T11N, R6E in the City of Baraboo, Sauk County, Wisconsin;

NOW, THEREFORE, BE IT RESOLVED that the Final Plat for Baraboo Bluffs Estates Phase 1 is hereby granted final approval subject to the applicable provisions of Chapters 236 and 703 of the Wisconsin Statutes and Chapter 18 of the Baraboo Municipal Code of Ordinances and that all review fees be paid in full; and

THAT the Mayor and City Clerk are hereby authorized to sign the Final Plat of Baraboo Bluffs Estates Phase 1.

Offered by: Plan Commission

Motion:

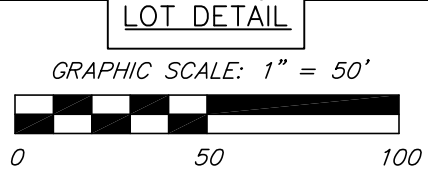
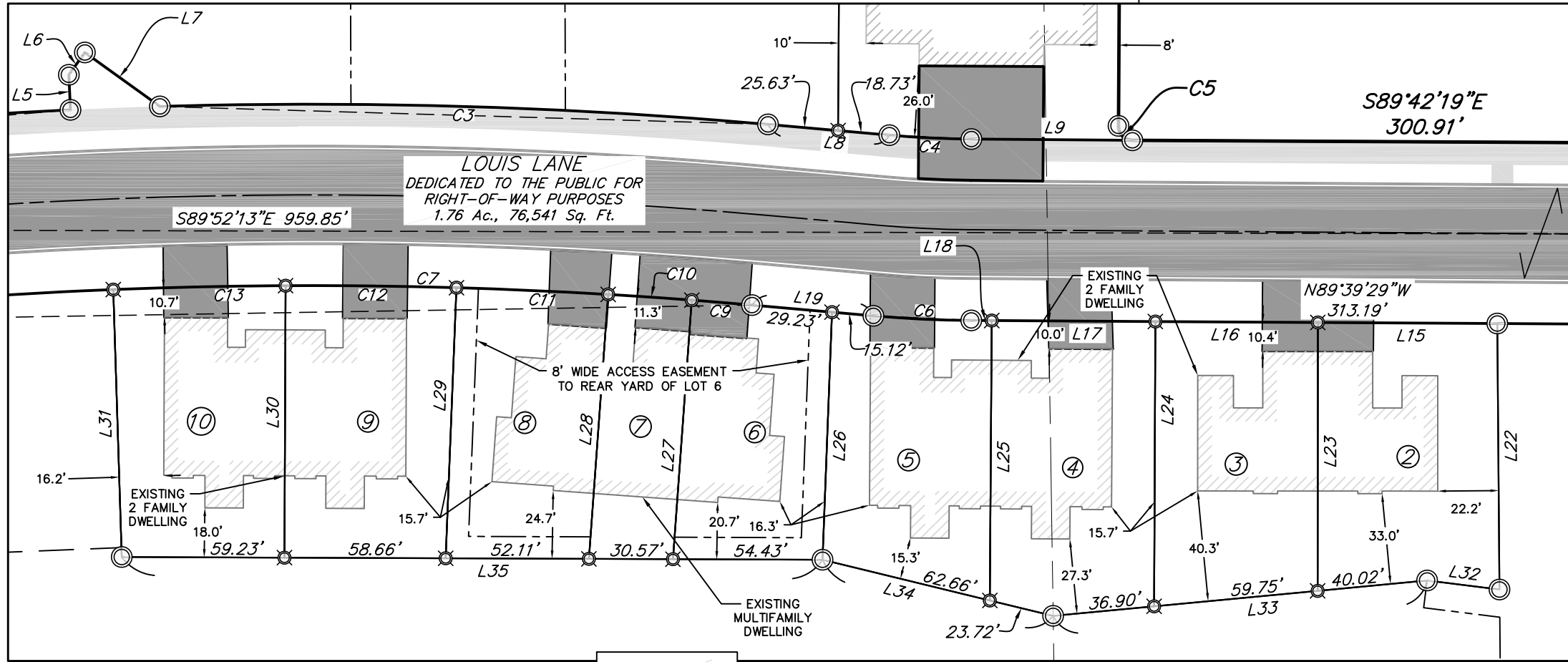
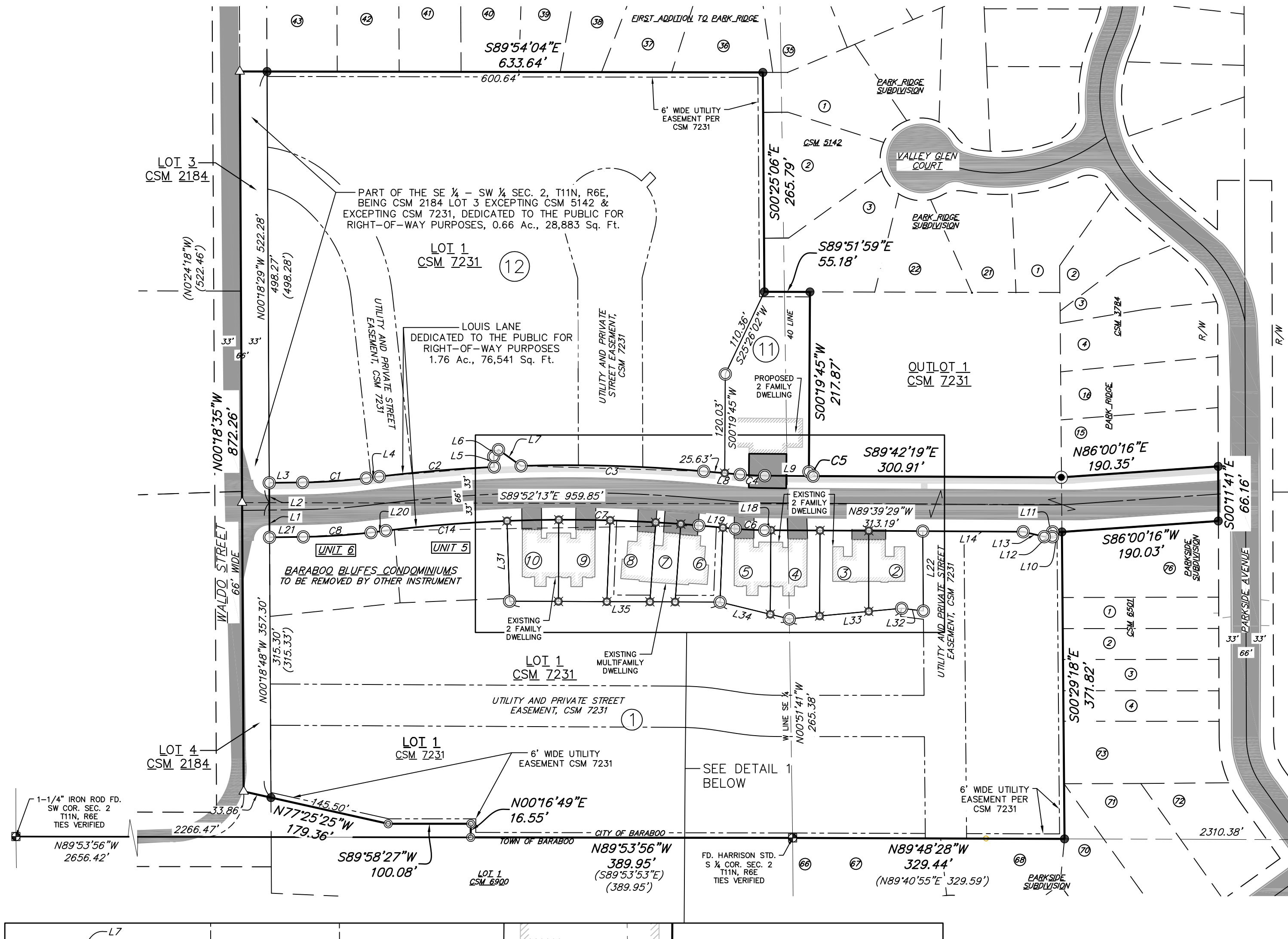
Second:

Approved: _____

Attest: _____

BARABOO BLUFFS ESTATES PHASE I

LOT 1 OF SAUK COUNTY CERTIFIED SURVEY MAP No. 7231 INCLUDING PART OF BARABOO BLUFFS CONDOMINIUM PLAT, PHASE I, AND PART OF LOTS 3 AND 4 OF SAUK COUNTY CERTIFIED SURVEY MAP No. 2184 ALL LOCATED IN THE SW ¼ - SE ¼ AND PART OF THE SE ¼ - SW ¼, SECTION 2, TOWNSHIP 11 NORTH, RANGE 06 EAST, CITY OF BARABOO, SAUK COUNTY, WISCONSIN.



Curve Table							
Curve #	Arc Len.	Radius	Delta	Ch. Len.	Ch. Dir.	Tangent In	Tangent Out
C1	77.38'	717.00'	61°1'00"	77.34'	N86°10'01"E	N89°15'31"E	N83°04'31"E
C2	139.72'	1,883.00'	41°5'05"	139.69'	N85°12'03"E	N83°04'31"E	N87°19'36"E
C3	221.47'	1,883.00'	6°44'20"	221.34'	S88°18'46"E	N88°19'04"E	S84°56'36"E
C4	29.87'	367.00'	4°39'49"	29.86'	S87°16'30"E	S84°56'36"E	S89°36'25"E
C5	8.09'	5.06'	91°32'45"	7.26'	S43°55'04"E	S01°51'19"W	S89°41'26"E
C6	35.63'	433.00'	4°42'53"	35.62'	N87°18'03"W	N89°39'29"W	N84°56'36"W
C7	232.62'	1,817.00'	7°20'07"	232.46'	S88°36'39"E	N87°43'17"E	S84°56'36"E
C8	82.20'	819.78'	5°44'43"	82.17'	S86°19'06"W	S83°26'45"W	S89°11'28"W
C9	21.97'	1,817.00'	0°41'34"	21.97'	N85°17'23"W	N84°56'36"W	N85°38'10"W
C10	30.50'	1,817.00'	0°57'43"	30.50'	N86°07'02"W	N85°38'10"W	N86°35'53"W
C11	55.25'	1,817.00'	1°44'32"	55.25'	N87°28'09"W	N86°35'53"W	N88°20'25"W
C12	232.62'	1,817.00'	7°20'07"	232.46'	S88°36'39"E	N87°43'17"E	S84°56'36"E
C13	379.96'	1,817.00'	11°58'53"	379.27'	S89°03'57"W	N84°56'36"W	S83°04'31"W
C14	147.34'	1,817.00'	4°38'46"	147.30'	S85°23'54"W	S87°43'17"W	S83°04'31"W

Line Table			Line Table			Line Table			Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length
L1	N00°18'48"W	33.00	L8	S84°56'36"E	44.35	L15	N89°39'29"W	65.29	L22	S00°29'18"E	96.75	L29	N02°17'02"E	98.52
L2	N00°18'35"W	33.00	L9	S89°32'58"E	58.56	L16	S89°39'29"E	59.12	L23	S00°02'23"W	97.63	L30	N00°14'07"E	98.94
L3	N89°15'31"E	40.43	L10	N89°39'29"W	11.37	L17	N89°39'29"W	59.52	L24	N00°14'38"E	103.62	L31	S01°47'59"E	97.34
L4	N83°04'31"E	15.81	L11	S00°20'31"W	5.90	L18	N89°39'29"W	7.48	L25	S00°23'35"W	101.86	L32	N82°54'33"W	26.55
L5	N02°40'24"W	12.78	L12	N89°39'29"W	10.00	L19	N84°56'36"W	44.35	L26	S02°11'48"W	90.17	L33	S84°35'18"W	136.67
L6	N35°44'20"E	10.00	L13	N76°39'16"W	26.21	L20	S82°46'47"W	18.11	L27	N04°10'02"E	94.52	L34	N76°19'57"W	86.37
L7	S54°15'40"E	33.64	L14	N89°39'29"W	121.78	L21	S89°15'31"W	40.93	L28	N04°09'58"E	96.46	L35	N89°46'13"W	255.00

SURVEYOR'S CERTIFICATE

I, Marc A. Londo, Wisconsin Professional Land Surveyor No. 2696, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Baraboo, and under the direction of Maxwell K. Dvorak, KMD Development LLC, I have surveyed Baraboo Bluffs Estates, Phase I; that such plot correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is located in the Southwest Quarter of the Southeast Quarter and the Southeast Quarter of the Southwest Quarter of Section 2, T11N, R6E City of Baraboo, Sauk County, Wisconsin containing 17.50 Acres of land and is described as follows:

LEGAL DESCRIPTION

Lot 1 of Sauk County Certified Survey Map No. 7231 recorded as Document No. 1243051 in Volume 45 of Certified Survey Maps, Pages 7231, 7231A, 7231B, 7231C, 7231D, 7231E and 7231F and part of Lots 3 and 4 of Sauk County Certified Survey Map No. 2184 recorded as Document No. 530685 in Volume 9 of Certified Surveys Pages 2184 and 2184A, located in the Southwest Quarter of the Southeast Quarter and the Southeast Quarter of the Southwest Quarter of Section 2, T11N, R6E, City of Baraboo, Sauk County, Wisconsin and bounded by a line described as follows:

Beginning at the found standard Harrison monument at south one-quarter corner of said Section 2; Thence, N89°53'56"W, along the south line of Lot 1 of said Sauk County Certified Survey Map No. 7231, 389.95 feet to a found 1" diameter iron pipe; Thence, N00°16'49"E, along the west line of Lot 1 of said Sauk County Certified Survey Map No. 7132, 16.55 feet to a found 1" diameter iron pipe; Thence, S89°58'27"W, along the south line of Lot 1 of said Sauk County Certified Survey Map No. 7132, 100.08 feet to a found 1" diameter iron pipe; Thence, N77°25'25"W, along the southwest line of Lot 1 of said Sauk County Certified Survey Map No. 7132 and its northwesterly extension, 179.36 feet, to a set masonry nail at the northwest corner of Lot 4 of said Sauk County Certified Survey Map No. 2184; Thence, S89°58'27"W, along the west line of said Southeast Quarter of the Southwest Quarter of said Section 2, T11N, R6E, the centerline of Waldo Street and the west line of said Lots 4 and 3 of said Sauk County Certified Survey Map No. 2184, 872.28 feet, to a set masonry nail at the northwest corner thereof and the southwest corner of Lot 3 of said Sauk County Certified Survey Map No. 2184; Thence, S89°54'04"E, along the north line of said Lot 3 of said Sauk County Certified Survey Map No. 2184, the south line of Lots 43, 42, 41, 40, 39, 38, 37 and 36 of said First Addition to Park Ridge, the north line of said Lot 1 of said Sauk County Certified Survey Map No. 7231, 633.64 feet, to a found ¾" diameter iron rod at the northeast corner thereof and the northwest corner of Lot 1 of said Sauk County Certified Survey Map No. 5142; Thence, S00°25'06"E, along the west lines of Lots 1, 2 and 3 of said Sauk County Certified Survey Map No. 5142, 265.79 feet, to a found ¾" diameter iron rod at the southwest corner of Lot 3 thereof; Thence, S89°51'59"E, along the south line of Lot 3 of said Sauk County Certified Survey Map No. 5142 and the north line of said Lot 1 of said Sauk County Certified Survey Map No. 7132, 55.18 feet, to a found ¾" diameter iron rod at the northwest corner of Outlot 1 of said Sauk County Certified Survey Map No. 7132; Thence, S00°19'45"W, along the west line of said Outlot 1 of said Sauk County Certified Survey Map No. 7132, 217.87 feet, to a set 1 ¼" diameter iron rod at the beginning of a curve to the left; Thence, 8.09 feet, along the southwest line of said Outlot 1 of said Sauk County Certified Survey Map No. 7132 being said curve to the left having a radius of 5.06 feet, an included angle of 91°32'45", (a chord of 7.26 feet which bears S43°55'04"E)(C5) to a set 1 ¼" diameter iron rod at the end of said curve; Thence, S89°42'19"E, along the south line of said Outlot 1 of said Sauk County Certified Survey Map No. 7132, 300.91 feet, to a found 1 ¼" diameter iron rod at the southeast corner thereof and the southwest corner of Lot 15 of Park Ridge; Thence, N86°00'16"E, along the south line of said Lot 15 of Park Ridge and the north line of Outlot 1 of said Parkside Subdivision, 190.35 feet, to a found ¾" diameter iron rod at the northeast corner thereof and the west right-of-way line of Parkside Avenue; Thence, S00°11'41"E, along the said west right-of-way line of Parkside Avenue and the east line of said Outlot 1 of Parkside Subdivision, 66.16 feet, to a found ¾" diameter iron rod at the southeast corner thereof and the northeast corner of Lot 76 of said Parkside Subdivision and the north line of said Lot 76 of said Parkside Subdivision, 190.03 feet, to a set ¾" diameter iron rod at the northwest corner thereof; Thence, S00°29'18"E, along the west lines of said Lot 76 of Parkside Subdivision, Lots 1, 2, 3 and 4 of said Sauk County Certified Survey Map No. 6501 and Lot 70 of Parkside Subdivision and the east line of Lot 1 of said Sauk County Certified Survey Map No. 7132, 371.82 feet, to a found ¾" diameter iron rod at the southeast corner thereof; Thence, N89°48'28"W, along the south line of said Lot 4 of said Sauk County Certified Survey Map No. 7132 and the south line of the Southwest Quarter of the Southeast Quarter of said Section 2, T11N, R6E, 329.44 feet, returning to the point of beginning.

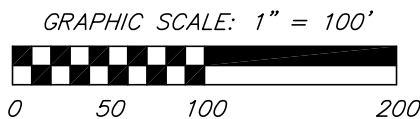
Baraboo Bluffs Estates, Phase I contains 17.50 Ac., 762,168 Sq. Ft., and is subject to all other easements and rights of way of record.

Marc A. Londo, WI-PLS 2696
Vierbicher Associates
201 East Main St. Suite 100
Reedsburg, WI 53959
(608) 524-6468



SURVEY LEGEND

- ☐ PUBLIC LAND CORNER AS NOTED
- ⊙ FOUND 1" ⌀ IRON PIPE
- FOUND 1 ¼" ⌀ IRON ROD
- FOUND ¾" ⌀ IRON ROD
- ⊙ SET 1 ½" ⌀ IRON ROD
- ⊙ SET ¾" ⌀ IRON ROD
- ① LOT NUMBERS



KMD DEVELOPMENT, LLC OWNER'S CERTIFICATE

KMD Development, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, I, Max Dvorak, as owner do hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat of subdivision. I, Max Dvorak, owner of KMD Development, LLC, further certify that this plat is required by s.236.10 or s.236.12 of the Wisconsin Statutes, to be submitted to the following for approval or objection:

The City of Baraboo Board
The State of Wisconsin Department of Administration

IN WITNESS WHEREOF, the said KMD Development, LLC, has caused these presents to be signed by Max Dvorak, its President, at Baraboo Wisconsin, and its corporate seal to be

hereunto affixed on this _____ day of _____, 2024, in the presence of:

Max Dvorak, Owner
KMD Development, LLC
STATE OF WISCONSIN
SAUK COUNTY) SS

Personally came before me this _____ day of _____, 2024, Max Dvorak, Owner of KMD Development, LLC, to me known to be the persons who executed the foregoing instrument, and to me known to be such owner of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public, _____
Wisconsin
My commission expires _____

THE CITY OF BARABOO APPROVAL CERTIFICATE

Resolved, that The Baraboo Bluffs Estates, Phase I, KMD Development, LLC owner, is hereby approved by The City of Baraboo.

Rob Nelson, Mayor _____ Date _____
City of Baraboo Wisconsin

CITY CLERK/TREASURER'S CERTIFICATE

STATE OF WISCONSIN
SAUK COUNTY) SS

I, Lori Laux, being the duly appointed qualified and acting city clerk/treasurer of the City of Baraboo, do hereby certify that in accordance with the records in my office, there are no

unpaid taxes or unpaid special assessments as of _____, 2024 on any of the land included in the Baraboo Bluffs Estates, Phase I.

Lori Laux, Clerk/Treasurer _____ Date _____
City of Baraboo

CERTIFICATE OF COUNTY TREASURER

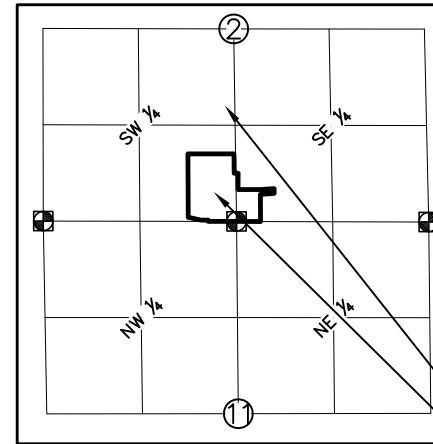
I, Jessica Machovec, being the duly elected, qualified and acting Treasurer of the County of Sauk, do hereby certify that the records in my tax office show no unredeemed tax sales and no

unpaid taxes or special assessments as of _____, 2024 affecting the lands included in Baraboo Bluffs Estates, Phase I.

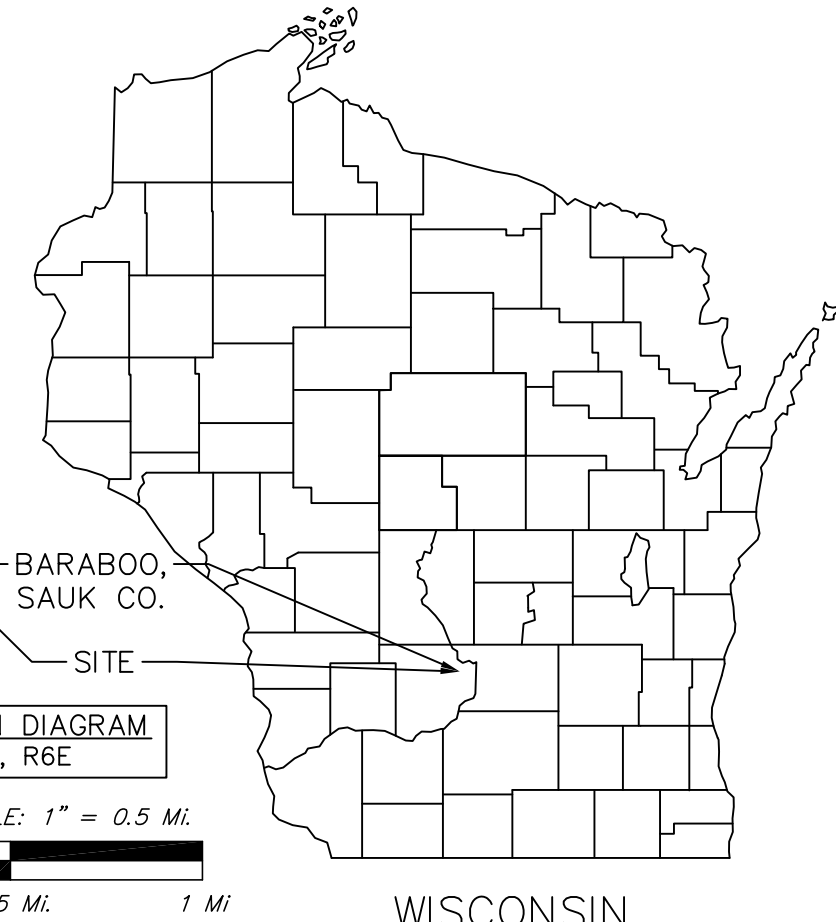
Jessica Machovec, County Treasurer _____ Date _____

SURVEYOR'S NOTES

- Bearings are referenced to the Wisconsin County Coordinate System, the south line of the Southwest Quarter of Section 2, T11N, R6E Bears N89°53'56"W.
- The City of Baraboo approved a Specific Implementation Plan showing the substandard lots at a meeting of the City of Baraboo Plan Commission on April 26, 2024.



LOCATION DIAGRAM
T11N, R6E



There are no objections to this plat with respect to Sees. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 _____

Department of Administration



vierbicher
planners | engineers | advisors



Drafted by: mlm
Checked by: dsis
Job #: 220040
Date: 04/18/2024
Rev:
Rev:
Rev:

SURVEYED FOR:
KMD Development LLC
E5152 CTH Rd F
LaValle, WI
53941

SURVEYED BY:
Marc A. Londo
Vierbicher Assoc. Inc.
201 East Main St.
Suite 100
Reedsburg, WI 53959
(608) 524-6468

SHEET
1 OF 1

The City of Baraboo, Wisconsin

Background: The City of Baraboo Code of Ordinances §1.90 adopted the “Official City of Baraboo Fee Schedule dated January 1, 1999”. The Common Council is authorized to amend the Official Fee Schedule by resolution. This resolution increases certain utility fees.

Note: (☒one) [☐ Not Required] [☐ Budgeted Expenditure] [☐ Not Budgeted]
Comments:

Resolved, by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

THAT the City of Baraboo hereby approves the following revisions to the Fee Schedule.

Hydrant Charges: Bulk Water used, ~~\$3.11~~ **\$3.36** per 1000 gallons, per the PSC order of ~~06/24/2021~~ **1/1/2024**

Temporary Meter: Bulk water used, ~~3.11~~ **\$3.36** per 1000 gallons, per the PSC order of ~~06/24/2021~~ **1/1/2024**

Offered by: Finance Committee

Motion:

Second: y

Approved: _____

Attest: _____

RESOLUTION NO. 2024 –

Dated: May 14, 2024

The City of Baraboo, Wisconsin

Background. Wal-Mart Real Estate Business Trust has filed claims for Excessive Assessment for their property located at 920 US Hwy 12 for multiple years including 2021 and 2022. As part of their assertion, they have hired an Expert Witness to assist in their presentation. In order to defend our position, the City will also need to contract with an Expert Witness. Our Legal Counsel has recommended that we engage the services of The Nicholson Group, LLC.

The Finance Committee will review this matter at their May 13th meeting and provide a recommendation.

Budgeting Note: ☐ **Not Required** ☒ **Budgeted Expenditure** ☐ **Not Budgeted**
Comments:

Whereas, the Wal-Mart Real Estate Business Trust (Wal-Mart) has filed claims for Excessive Assessment for January 1, 2021 and 2022,

AND Whereas, Wal-Mart has hired an Expert Witness to assist in their case,

AND Whereas, the City will also need to engage the services of an Expert Witness,

AND Whereas, our Legal Counsel has recommended The Nicholson Group, LLC at a total fee of \$9,750.00 for both years

Now Therefore be it resolved by the Common Council of the City of Baraboo, Sauk County, Wisconsin:

The City Council authorizes the Co-Interim City Administrators to sign the Appraisal Engagement Letter for January 1, 2021 and 2022 in the amount of \$9,750.00 with The Nicholson Group, LLC.

Offered by: Finance/Personnel Comm.

Motion:

Second:

Approved: _____

Attest: _____

May 10, 2024

City of Baraboo
c/o Attorney Storm Larson
Boardman & Clark LLP
1 S. Pinckney Street, Suite 410
Madison, Wisconsin 53701-0927
slarson@boardmanclark.com

Subject: Appraisal Engagement Letter (January 1, 2021 and 2022)
Walmart Property
920 U.S. Highway 12, Baraboo, Wisconsin
Tax Parcel #3426-2100

Dear Storm:

It is my pleasure to confirm your authorization for appraisal services relating to the property identified above. This letter summarizes the appraisal specifications and services that The Nicholson Group will provide.

Purpose and Scope of Appraisal Services

The purpose of my appraisal services is to develop and express an independent opinion of the market value of the subject property as of January 1, 2021 and January 1, 2022. The intended use of my opinions and report is in conjunction with property tax assessment appeal. The intended users of my opinions and report are the City of Baraboo ("Client") and the circuit court judge assigned to this matter. Use by others is not intended by the appraiser. A party receiving a report copy from the client does not therefore become party to the appraiser-client relationship. No other use or reliance of our opinions and report by third parties is permitted without the express written permission of The Nicholson Group.

My appraisal will be prepared to conform with: the Uniform Standards of Professional Appraisal Practice ("USPAP"); the Wisconsin Property Assessment Manual; and, the Standards of Professional Appraisal Practice and Code of Professional Ethics of the Appraisal Institute.

Report and Timing

I will provide my opinions in the form of a narrative appraisal report which will be prepared to comply with the reporting requirements set forth under Standards Rule 2-2(a) of USPAP. As such, the report will present summary discussions of the data, reasoning and analyses that were used in the appraisal process to develop the appraiser's opinions. Additional supporting documentation concerning the data, reasoning and analyses is retained in the appraiser's file.

I anticipate being able to deliver the appraisal report electronically in Adobe PDF format on or before July 29, 2024 assuming that this executed letter is received within the next two weeks. I understand that the report is due to the Plaintiff's attorney by August 6, 2024.

Fee Consideration

The fee is \$9,750 (\$6,500 for the first appraisal date and \$3,250 for the second) inclusive of anticipated out-of-pocket expenses. The fee is based on my estimate of the professional services to be furnished per the scope of work summarized herein and is not contingent upon my conclusions. The Nicholson Group will invoice you upon delivery of the appraisal report and you agree to pay the invoice within 30-days of receipt.

If requested to provide expert testimony regarding my opinions, any time spent in or preparing for depositions and testimony will be invoiced at a rate of \$300 per hour plus any out-of-pocket expenses. These fees are in addition to the appraisal fee described above. The Nicholson Group will invoice you upon completion of each testimony and you agree to pay these invoices within 30-days of receipt. Be advised that I will not provide any expert testimony unless all outstanding invoices have been paid in full.

Client may cancel this engagement at any time prior to delivery of the appraisal report pursuant to this agreement upon written notice delivered to our address specified herein. Unless otherwise agreed in writing, Client shall pay for all work completed prior to receipt of Client's cancellation notice.

Acknowledgment

This letter is being transmitted via email in Adobe PDF format and if it correctly reflects your understanding of our agreement and you would like to proceed with this engagement, please confirm such by signing below and return to my attention (Larry@TNGvalue.com).

Client of Record: City of Baraboo

By: _____

Title: _____

Date: _____

Our professional services are subject to the attached General Service Conditions.

Very truly yours,



Lawrence R. Nicholson, MAI

General Service Conditions

The services to be provided by The Nicholson Group LLC will be performed in accordance with professional appraisal standards. Our compensation is not contingent in any way upon our conclusions of value. We will assume, without independent verification, the accuracy of all data provided to us. All files, work papers, or documents developed by us during the course of the engagement are our property. We will retain this data for at least five years.

Our opinions and report are to be used only for the specific purpose stated herein and any other use is invalid. No reliance may be made by any third party without our prior written consent. Possession of this report or any copy thereof does not carry with it the right of publication. No portion of this report shall be disseminated to the public through prospectus, advertising, public relations, news, or any other means of communication without the written consent and approval of The Nicholson Group LLC.

We will maintain the confidentiality of any Client information that is "Confidential Information" as defined in the Uniform Standards of Professional Appraisal Practice, using the same degree of care we use in maintaining our own Confidential Information. Notwithstanding the foregoing, information or data will not be considered Client's "Confidential Information" unless such information or data is (1) first disclosed by Client in tangible form and is conspicuously marked "Confidential," "Proprietary" or words having similar meaning, or (2) first disclosed in intangible form and orally identified as "Confidential Information" at the time of disclosure and is subsequently summarized in tangible form conspicuously marked "Confidential" within 30 days of the original disclosure. "Confidential Information" shall not include (1) any information that is already in the possession of Appraiser and not subject to any duty of confidentiality; (2) information learned or deduced by Appraiser without any reference to Client's Confidential Information; (3) information in the public domain; or (4) information required to be disclosed by operation of law or judicial or administrative rule, regulation or subpoena.

You agree to indemnify and hold us harmless against and from any and all losses, claims, actions, damages, expenses, or liabilities, including reasonable attorneys' fees, to which we may become subject in connection with this engagement. The extent of The Nicholson Group LLC's liability as a result of any of the preceding items, or any other matter related to this engagement, is limited to the appraisal fee paid by the client for these appraisal services. Your obligation for indemnification and reimbursement shall extend to any controlling person of The Nicholson Group LLC, employee, affiliate or agent.

We reserve the right to include your company/firm name in our client list, but we will maintain the confidentiality of all conversations, documents provided to us, and the contents of our report, subject to legal or administrative process or proceedings. These conditions can only be modified by written documents executed by both parties.

The City of Baraboo, Wisconsin

Background: At their May 6th meeting, the Public Safety Committee considered a proposed revision to Section 7.09 Parking Restrictions in the Code of Ordinances.

With the recent completion of the Carnegie-Schadde Memorial Public Library Expansion and Renovation project, the parking stall configuration on the north side of 4th Avenue, east of Birch Street was modified. The handicap parking stalls were moved from the west end of the block to the west end of the new addition and the 30-minute stalls were moved west in front of the main entrance of the new addition. Staff recommended that the westerly seven (7) angle parking stalls shall be restricted to a two-hour limit, the six (6) angle stalls east of those seven (7) stalls be restricted to a 30-minute limit, the two (2) accessible angle parking stalls east of those six (6) stalls shall have no time limit, and the remaining five (5) angle parking stalls east of the First United Methodist Church driveway shall continue to be restricted to a two-hour limit.

Based on recommendations from the City Engineer and Street Superintendent, the Committee unanimously recommended that the Common Council approve these changes.

Fiscal Note: (check one) <input checked="" type="checkbox"/> Not Required <input type="checkbox"/> Budgeted Expenditure <input type="checkbox"/> Not Budgeted	Comments:
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An Ordinance amending §7.09(3)(e) relating to parking restriction on the north side of 4th Avenue from Birch Street to Broadway.

THE COMMON COUNCIL OF THE CITY OF BARABOO, WISCONSIN, DO ORDAIN AS FOLLOWS:

1. Section 7.09(3)(b) & (d) is amended as follows:

7.09 Parking Restrictions

(3) LIMITED TIME PARKING. Unless specifically otherwise provided, between the hours of 7:30 A.M. and 5:00 P.M., except Saturdays, Sundays, and legal holidays under §895.20 WI Stats., no person shall park a vehicle for any longer than the period herein specified upon the following streets or portions thereof: (1934 04/14/98, 2520 05/28/19, 2595 7/12/2022)

(b) 30 Minutes. (2520 5/28/2019)

3. The six (6) angle parking stalls immediately east of the westerly seven (7) angle parking stalls on the north side of 4th Avenue, east of Birch Street.

(c) Reserved. (1661 11/92)

- (d) Two Hours except where a 15 minute or 30 minute time period is specified under subs. (3)(a) and (3)(b) above. (1932 02/24/98, 2520 5/28/2019, 2539 12/10/2019)

13. The north side of 4th Avenue, the seven (7) angle parking stalls immediately east of Birch Street.

20. The five (5) angle parking stalls on the north side of 4th Avenue immediately west of Broadway.

2. This Ordinance shall take effect upon passage and publication as provided by law.

Mayor's Approval: _____

Clerk's Certification: _____

I hereby certify that the foregoing Ordinance was duly passed by the Common Council of the City of Baraboo on the 12th day of July, 2022 and is recorded on page 53 of volume 44. A summary of this Ordinance was published in the local newspaper on the 19th day of July, 2022.

City Clerk: _____

13.2

The City of Baraboo, Wisconsin

Background: At their May 6th meeting, the Public Safety Committee considered a proposed revision to Section 7.09 Parking Restrictions in the Code of Ordinances.

With the recent completion of the Carnegie-Schadde Memorial Public Library Expansion and Renovation project, the parking stall configuration on the north side of 4th Avenue, east of Brich Street was modified. The handicap parking stalls were moved from the west end of the block to the west end of the new addition and the 30-minute stalls were moved west in front of the main entrance of the new addition. Staff recommended that the westerly seven (7) angle parking stalls shall be restricted to a two-hour limit, the six (6) angle stalls east of those seven (7) stalls be restricted to a 30-minute limit, the two (2) accessible angle parking stalls east of those six (6) stalls shall have no time limit, and the remaining five (5) angle parking stalls east of the First Unity Methodist Church driveway shall continue to be restricted to a two-hour limit.

Based on recommendations from the City Engineer and Street Superintendent, the Committee unanimously recommended that the Common Council approve these changes.

The Public Safety Committee considered this matter at their April 26th meeting and unanimously recommended the Council favorably consider designating these two accessible parking stalls.

Fiscal Note: (check one) ☒ Not Required ☐ Budgeted Expenditure ☐ Not Budgeted
Comments:

An Ordinance revising §7.02(2)(b)2, the Official Traffic Map, to provide for two parking stalls to be used by persons with a disability that limits or impairs the ability to walk in front of the Carnegie-Schadde Memorial Public Library at 230 4th Avenue.

THE COMMON COUNCIL OF THE CITY OF BARABOO, WISCONSIN, DO ORDAIN
AS FOLLOWS:

1. Section 7.02(2)(b)2, the Official Traffic Map, is revised to provide that there shall be two (2) parking stalls marked for use by persons with a disability that limits or impairs the ability to walk at the following locations:

Two (2) parallel parking stalls on the north side of 4th Avenue immediately east of the western most thirteen (13) parallel parking stalls between Birch Street and Broadway.

2. This Ordinance shall take effect upon passage and publication as provided by law.

Mayor's Approval: _____

Clerk's Certification: _____

I hereby certify that the foregoing Ordinance was duly passed by the Common Council of the City of Baraboo on the ____ day of May 2024 and is recorded on page ____ of volume _____. A summary of this Ordinance was published in the local newspaper on the ____ day of May, 2024.

City Clerk: _____

Month		City of Baraboo					Treasurer's Report													Investment 2024.xlsx		5/8/2024
April		2024																				
Bank Balance							Bank															
BANK INVESTMENTS	Type	Fund	Account	Term	Maturity	Rate	BSB	LGIP	CFB	SUM	BWD	PDS	PVL	WCCU	CCF	BMO	FICA	SCHWAB	Grand Total			
Alma Waite Account	NOW account	820	104502957	Daily		0.50%	10,402.47		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	10,402.47			
Alma Waite Trust Fund	Cert of Deposit	820	7758002185	12 months	4/6/25	4.80%	0.00		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	105,857.80	0.00	0.00	105,857.80		
			148901-106	22 months	7/9/24	2.96%	0.00		0.00	0.00	209,959.80	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	209,959.80		
			40062018	12 months	7/25/24	5.00%	0.00		0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00	0.00	0.00	0.00	200,000.00		
			3902229	8 months	5/25/24	4.95%	0.00		0.00	0.00	0.00	0.00	100,000.00	0.00	0.00	0.00	0.00	0.00	0.00	100,000.00		
	Investment Pool	820	856206-3	Daily		5.38%	0.00	105,431.74	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	105,431.74		
	Dana Investment	820	3694-7092	(blank)		3.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	500,000.00	500,000.00			
CDA-Grant Accounts	Checking	220	1000934/114639	Daily		none	10.00		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	10.00			
CDA-Loan Accounts	(blank)	983	(blank)	(blank)		(blank)	270,393.99	185,129.49	655,618.21	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,111,141.69			
Friends of the Library	Savings	940	103035891	Daily		0.15%	30,533.22		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	30,533.22			
General Cash Account	Checking / NOW	100	1000306/9830	Daily		.10%/.50%	961,152.23		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	961,152.23			
	Deposit Placeme	100	101066015	Daily		0.50%	29.49		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	29.49			
General Fund	Money Market	100	86190136	Daily		1.66%	0.00		0.00	923,041.87	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	923,041.87			
			163563	Daily		2.90%	0.00		0.00	0.00	0.00	124,567.33	0.00	0.00	0.00	0.00	0.00	0.00	124,567.33			
			471582	Daily		2.25%	0.00	0.00	0.00	0.00	0.00	0.00	455,191.62	0.00	0.00	0.00	0.00	0.00	455,191.62			
			10080968	Daily		2.78%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	380,858.90	0.00	0.00	0.00	0.00	380,858.90			
			54962-07	Daily		2.25%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	161,349.26	0.00	0.00	0.00	161,349.26			
			20032292	Daily		5.54%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	382,756.46	0.00	0.00	0.00	382,756.46		
			2061232	Daily		1.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	148,742.21	0.00	0.00	148,742.21		
	Cert of Deposit	100	60000014	12 months	5/31/24	4.00%	0.00	0.00	0.00	0.00	0.00	0.00	180,000.00	0.00	0.00	0.00	0.00	0.00	0.00	180,000.00		
			3882053	25 months	7/27/24	2.00%	0.00	0.00	0.00	0.00	0.00	200,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00		
			54962-101	16 months	5/18/24	3.96%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00	0.00	0.00	0.00	0.00	200,000.00		
			54962-102	22 months	11/18/24	4.21%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00	0.00	0.00	0.00	0.00	200,000.00		
			54962-108	13 months	4/28/24	4.94%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		
			7758003053	12 months	4/12/24	4.80%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		
			3901234	8 months	5/18/24	4.95%	0.00	0.00	0.00	0.00	0.00	200,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00		
			1815294	13 months	10/22/23	4.65%	0.00	0.00	200,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00		
			90905056	11 months	9/13/24	4.91%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00	0.00	0.00	0.00	0.00	0.00	200,000.00		
			54962-109	13 months	4/15/25	4.35%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,033.10	0.00	0.00	0.00	0.00	200,033.10		
			7758005084	9 months	1/23/24	4.95%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00	0.00	0.00	200,000.00		
			54962-115	13 months	4/29/25	4.91%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,016.55	0.00	0.00	0.00	0.00	200,016.55		
	Investment Pool	100	856206-1	Daily		5.38%	0.00	1,562,182.82	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,562,182.82			
	Deposit Placeme	100	104791111271	Daily		5.27%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,549,692.46	0.00	1,549,692.46		
			10090686	Daily		2.78%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,525,100.93	0.00	0.00	0.00	0.00	0.00	1,525,100.93		
	Dana Investment	100	3694-7092	(blank)		3.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,200,000.00	1,200,000.00		
General Fund-Bond Issue	Money Market	100	104557859	Daily		5.52%	547,295.51		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	547,295.51			
	Investment Pool	100	856206-2	Daily		5.38%	0.00	3,072.44	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	3,072.44			
	Deposit Placeme	100	10090686	Daily		2.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	300,000.00	0.00	0.00	0.00	0.00	300,000.00			
Library Segregated Fund	NOW account	850	104551192	Daily		0.50%	181,295.43		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	181,295.43			
Park House Account	NOW account	890	101001035	Daily		0.50%	3,454.18		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	3,454.18			
Park Kuenzi Estate	Cert of Deposit	830	3882045	25 months	7/27/24	2.00%	0.00	0.00	0.00	0.00	0.00	10,199.50	0.00	0.00	0.00	0.00	0.00	0.00	10,199.50			
			54962-105	13 months	4/15/25	4.35%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	12,320.62	0.00	0.00	0.00	0.00	12,320.62			
Park Segregated Fund	Cert of Deposit	870	90905064	11 months	9/13/24	4.91%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	50,953.94	0.00	0.00	0.00	0.00	50,953.94			
	NOW account	840/87	1000-888	Daily		0.50%	413,118.01		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	413,118.01			
Sewer Debt Service	NOW account	960	104506359	Daily		0.50%	382.83		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	382.83			
Sewer Depreciation Fund	Money Market	960	20083858	Daily		5.54%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	58,490.52	0.00	0.00	58,490.52			
Sewer Equipment Replac	Cert of Deposit	960	54962-111	15 months	8/30/24	4.94%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	256,225.76	0.00	0.00	0.00	256,225.76			
	NOW account	960	104522281	Daily		0.50%	123,716.68		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	123,716.68			
	Dana Investment	960	3694-7092	(blank)		3.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	650,000.00	650,000.00			
	Cert of Deposit	960	148901-101	17 months	2/9/24	2.23%	0.00	0.00	0.00	203,497.46	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	203,497.46			
Sewer General	Investment Pool	960	856206-7	Daily		5.38%	0.00	823,837.74	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	823,837.74			
	NOW account	960	104550099	Daily		0.50%	80,024.78		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	80,024.78			
	Dana Investment	960	3694-7092	(blank)		3.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	300,000.00	300,000.00			
	Investment	950	3694-7092	(blank)		3.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00	200,000.00			
Stormwater	Dana Investment	950	3694-7092	(blank)		3.75%	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	200,000.00			
Stormwater Equip Replac	Money Market	950	104565819	Daily		0.50%	45,474.48		0.00	0.00												

TREASURER'S INVESTMENT REPORT for April 2024

			Average Rate of Return on Current Deposits:			Benchmarks:	
			Avg Term			LGIP	5.38%
Total Receipts:	1,251,375.44		General Funds:	6.6 M	4.11%		
			Utility Funds:	14.4 M	5.06%	90-day T-bill:	5.37%
Total Disbursements:	1,807,200.31		Segregated Funds:	14 M	4.14%		
			Securities w/Dana	3.62 yrs	4.60%		
			All Funds:	10.3 M	4.14%	6M CD:	4.04%
			Liquid:	65%		12M CD:	4.33%
			Term:	35%		18M CD:	4.90%
Policy Objectives:							
Safety:			▪ \$3,500,000 invested in marketable securities with Dana Investments, these are not guaranteed.				
Liquidity:			▪ Reinvesting in CDs as money becomes available.				
Yield:			▪ Short and mid-term CD rates are really good and so are securities.				

TRANSACTIONS											
#	Action	Type	Identification	Bank	Acct #	Note	Term	Maturity Date	Rate	Amount	Interest
1	Reinvest	CD	Alma Waite	BMO	7758002185		12 mos	4/6/2025	4.80%	105,857.80	Reinvest
Comments:											
2	Reinvest	CD	General Fund	BMO	7758003053		12 mos	4/12/2024	4.80%	202,000.00	Reinvest
					7758005084		9 mos	1/23/2025	4.95%	200,000.00	Paid to MM
Comments: Withdraw interest											
3	Reinvest	CD	General Fund	WCCU	54962-108		13 mos	4/28/2024	4.94%	200,000.00	Paid to MM
					54962-115		13 mos	5/29/2025	4.91%	200,016.55	Paid to MM
Comments:											

INVESTMENT ADVISOR TRANSACTIONS											
#	Action	Type	Identification	Price	Rating	Note	Term/WAL	Maturity Date	Yield to Worst Yield - Maturity	Amount	Interest
(1)	BUY	FHLB	3134H1A45	100.0000	Not rated		3 year	4/8/2027	5.500%	200,000.00	Semiannual

Comments: 1st call date 10/8/2024

REPORT OF BUILDING INSPECTION
Construction, Plumbing, Electrical, HVAC, Commercial
APRIL

PERMIT TYPE	2023						2024					
	ISSUED	YTD	EST COST	YTD	FEES	YTD	ISSUED	YTD	EST COST	YTD	FEES	YTD
Commercial, New	0	1	\$0.00	\$1,352,825.00	\$0.00	\$642.80	1	2	\$1,961,872.00	\$5,011,872.00	\$3,849.36	\$12,508.86
Commercial Addition	0	1	\$0.00	\$379,064.00	\$0.00	\$525.36	1	1	\$820,000.00	\$820,000.00	\$486.72	\$486.72
Commercial, Alterations	1	3	\$5,000.00	\$432,000.00	\$150.00	\$1,256.05	2	6	\$73,000.00	\$2,498,063.00	\$270.00	\$1,899.91
Commercial, Razing	0	1	\$0.00	\$0.00	\$0.00	\$30.00	0	0	\$0.00	\$0.00	\$0.00	\$0.00
Residential , New SF	2	9	\$690,000.00	\$2,751,000.00	\$1,774.31	\$7,464.77	0	5	\$0.00	\$1,485,000.00	\$0.00	\$4,218.30
Residential, New Duplex	2	6	\$933,000.00	\$3,347,230.00	\$2,963.22	\$7,584.35	0	2	\$0.00	\$1,015,000.00	\$0.00	\$2,796.58
Residential, Additions	0	1	\$0.00	\$37,000.00	\$0.00	\$100.00	0	1	\$0.00	\$30,000.00	\$0.00	\$100.00
Residential Remodel	4	18	\$61,892.00	\$571,392.00	\$317.50	\$2,731.45	7	14	\$221,190.00	\$1,267,190.00	\$773.68	\$2,810.70
Residential, Razing	0	0	\$0.00	\$0.00	\$0.00	\$0.00	0	0	\$0.00	\$0.00	\$0.00	\$0.00
Accessory Building Razing	0	0	\$0.00	\$0.00	\$0.00	\$0.00	0	0	\$0.00	\$0.00	\$0.00	\$0.00
Roofing/Siding/Windows	4	20	\$40,000.00	\$282,639.00	\$252.00	\$1,803.20	12	34	\$262,306.00	\$710,041.00	\$1,507.84	\$4,187.39
Garage/Sheds/Deck/Fence	12	18	\$85,620.00	\$116,120.00	\$780.00	\$1,335.00	11	19	\$42,250.00	\$73,650.00	\$720.00	\$1,215.00
Multi-Family Units	0	7	\$0.00	\$10,137,363.00	\$0.00	\$35,073.56	1	2	\$5,000,000.00	\$6,500,000.00	\$10,033.84	\$14,942.56
Plumbing Only	0	1	\$0.00	\$17,750.00	\$0.00	\$60.00	0	0	\$0.00	\$0.00	\$0.00	\$0.00
Electrical Only	1	3	\$6,280.00	\$9,530.00	\$60.00	\$180.00	4	8	\$19,378.00	\$25,278.00	\$300.00	\$540.00
HVAC Only	1	2	\$5,400.00	\$15,370.00	\$60.00	\$120.00	0	3	\$0.00	\$20,021.00	\$0.00	\$180.00
Sign Permits	0	5	\$0.00	\$52,570.00	\$0.00	\$540.00	4	12	\$40,727.00	\$59,227.00	\$900.00	\$1,560.00
Solar Install	0	6	\$0.00	\$97,600.00	\$0.00	\$360.00	0	1	\$0.00	\$35,594.00	\$0.00	\$60.00
Misc. Permits	1	5	\$0.00	\$20,000.00	\$100.00	\$430.00	0	5	\$0.00	\$100,000.00	\$0.00	\$470.00
TOTALS	28	107	\$1,827,192.00	\$19,619,453.00	\$6,457.03	\$60,236.54	43	115	\$8,440,723.00	\$19,650,936.00	\$18,841.44	\$47,976.02

Finance/Personnel Committee Meeting Minutes

March 26, 2024, 5:30 p.m.
City Hall, Committee Room #205
101 South Blvd., Baraboo, WI 53913

Members Present: Sloan, Petty, Kent
Members Absent: None.
Others Present: Mayor Nelson, Clerk Zeman, Interim City-Administrators P. Cannon & T. Pinion, J. Ostrander, D. Olson

1. Call Meeting to Order

Chairman Sloan called the meeting to order at 5:32pm.

1.a Roll Call of Membership

1.b Note Compliance with Open Meeting Law

1.c Approve Minutes of March 12, 2024

Moved by: Petty

Seconded by: Kent

CARRIED (3 to 0)

1.d Approve Agenda

Moved by: Petty

Seconded by: Kent

CARRIED (3 to 0)

2. Action Items

2.a Accounts Payable

Moved by: Kent

Seconded by: Petty

Recommend paying \$699,274.17 in Accounts Payable.

CARRIED (3 to 0)

2.b Public Works Project, Asphalt & Concrete Pavement Crushing

T. Pinion noted that some numbers were transposed in the bid tab and staff mistakenly attributed the low bid to Tri-County Paving. We are issuing a low bid to A-1 Excavating, LLC, unanimously approved by Public Safety.

Moved by: Petty

Seconded by: Kent

Recommend authorizing an agreement with A-1 Excavating, LLC in the amount of \$26,350 for the 2024 Public Works asphalt paving and concrete pavement crushing.

CARRIED (3 to 0)

2.c 2024 WI Site Assessment Grant and Assessment Monies

T. Pinion explained that the city approved a Brownfields and Stewardship Negotiated Agreement with the DNR for the I.M. Dairy property at 105 Vine Street. Because it expected that contamination exists, we will need to do a phase 2 site assessment. M. Hardy is putting together a Site Assessment Grant (SAG) application and Wisconsin Assessment Monies (WAM) which will serve as a 20% match for the SAG. This authorizes the Park & Recreation Director to submit these applications and if awarded, accept the funds.

Moved by: Petty

Seconded by: Kent

Recommend authorizing the Parks & Recreation Director to submit and accept the awards for a 2024 Wisconsin Site Assessment Grant & Wisconsin Assessment Monies for the site assessment at 105 Vine Street (I AM Dairy).

CARRIED (3 to 0)

3. Discussion Items

Funding for campus expenses, 2024 & 2025

Mayor Nelson explained that due to some unforeseen expenditures, the campus commission has spent their entire budget. At this point, without additional funding, we will not be able to pay the April bills. We may need to raise our allocation going forward. While the County has the funds available, it is the Committee's recommendation to find the funds to continue to support the

campus. P. Cannon recommends allocating \$50,000 from Fund Balance and if, at the end of the year, any funds remain, it will be transferred back to Fund Balance. Staff will submit an insurance claim for the electrical panel and boiler pumps to see if we can get some of these unexpected expenses covered.

The committee feels that the community supports the campus; they want to continue sharing ownership with the County. The committee would like to invite representatives from Sauk County and the campus to a Council meeting to find out more information regarding any future plans.

Long-term City Financials

P. Cannon presented projected debt service and operational costs, including a 4% inflation, over the next 10 years. The committee will need to look at options on how to move forward with expenses that continue to increase while revenues remain stable.

Submitting applications for Federal Appropriation Opportunities

Mayor Nelson noted that we have received an invitation to apply for earmarks in the Federal budget, up to three projects. There was a small discussion amongst staff regarding what projects we would like to be considered, Campbell Park being one of them. This will be brought back to a later meeting for additional discussion.

4. Adjournment

Moved by: Petty

Seconded by: Sloan

That the meeting be adjourned at 6:49pm

Brenda M. Zeman, City Clerk



CITY OF BARABOO ADMINISTRATIVE MEETING

Meeting Minutes

April 2, 2024, 8:00 a.m.
City Hall, Committee Room #205
101 South Blvd., Baraboo, WI 53913

Members Present: Hazard, Kierzek, Thurow

Others Present: Co-Administrator - Pat Cannon & Tom Pinion, City Clerk -
Brenda Zeman, Police Captain - Ryan Labroscian, Finance
Director - Julie Ostrander

1. **CALL TO ORDER**

1.a ROLL CALL OF MEMBERS

1.b NOTE COMPLIANCE WITH OPEN MEETING LAW

1.c APPROVE MINUTES from March 5, 2024.

Moved by: Kierzek

Seconded by: Hazard

March 5, 2024, minutes approval

Motion:CARRIED

1.d APPROVE AGENDA

Moved by: Hazard

Seconded by: Kierzek

April 2, 2024, agenda approval

Motion:CARRIED

2. **ACTION ITEM(S)**

2.a Temporary Liquor License

Police Captain Ryan Labroscian indicated there were no issues with the application.

Moved by: Hazard
Seconded by: Kierzek

Recommend to the Common Council on approving a "Class B" Wine Temporary Liquor License (AKA Picnic License) for the Downtown Baraboo, Inc. Spring Wine Walk, 05/03/2024

Motion: CARRIED

3. **INFORMATIONAL ITEM(S)**

3.a Date and time of next meeting: May 7, 2024

4. **ADJOURNMENT (Voice Vote)**

Adjourn at 8:03 am

Moved by: Kierzek
Seconded by: Hazard

Meeting adjournment

Motion: CARRIED

Julie A. Ostrander, Finance Director

Minutes of the Public Safety Committee Meeting – March 25, 2024

Members Present: Tom Kolb, and David Olson, and John Ellington. **Others Present:** Chief Sinden, Tom Pinion, Street Superintendent Tony Gilman, Dave Hyzer, and Bob Spencer.

Call to Order – Chairman Tom Kolb called the meeting to order at 1:00. Compliance with the Open Meeting Law was noted. It was moved by Ellington, seconded by Olson to approve the agenda, motion carried unanimously. It was moved by Olson, seconded by Ellington to approve the minutes of the February 26, 2024. Motion carried unanimously.

Action Items

- a. Special Event Permit for St. John's Lutheran School for their annual kickball tournament at Langer Park – Pinion said that this is at least the second annual so it is a special event, only because there will be road closures, in this case it is more alley closures. It was moved by Ellington, seconded by Olson to approve the special event permit for St. John's Lutheran School as presented. Motion carried unanimously.
- b. Review and recommend approval of the adjusted Census-Defined Urban Area Boundary Map for the City of Baraboo – Pinion presented the proposed adjusted Census-Defined Urban Area Boundary Map. Kolb asked Pinion his thoughts and Pinion felt that this would give the City the best opportunity for funding. Olson moved, Ellington seconded to recommend approval of the adjusted Census-Defined Urban Area Boundary Map for the City as presented. Motion carried unanimously.
- c. Review and recommend approval for a Memorandum of Understanding with the School District of Baraboo for the 2024 Fireworks display – Pinion presented a map showing the location that is desired for the fireworks this year. He said that the site east of the Meat Market is not available this year. He said they did look just north of the First Station No. 2 site off of T but the fireworks vendor would not go that far away with that much topographic relief. He said that the donors, Festival Foods definitely wants it in Baraboo, although the Steam & Gas Show grounds has been suggested, but it is too far away and they wouldn't fund it there. He said that Spirit Point was also looked at, but there was not enough safety zone, 400 feet is needed. He said that staff has met with the school district and they did show willingness, their concern is their tennis courts and a couple of building behind GLW. Pinion said that they have has the attorney look at it, the first department has agreed to provide some extra level of protection with a piece of equipment and a couple of extra firefighters. Kolb felt that the City incurs most of the expense, but Pinion said that Baraboos reimburses the City as part of their special event provisions. It was moved by Ellington, seconded by Olson to recommend approval for a Memorandum of Understanding with the School District of Baraboo for the 2024 Fireworks. Motion carried unanimously.
- d. Review and approve awarding a contract to A-1 Excavating LLC for the 2024 Public Works Proposal #6 - Asphalt and Concrete Pavement Crushing project – Pinion said that he inadvertently transposed some numbers on the bid tabulations last month and originally had the low bidder as Tri-County Paving; however, in reality the low bidder is A-1 Excavating. It was moved by Olson, seconded by Ellington to approve awarding a contract to A-1 Excavating LLC for the 2024 Pubic Works Proposal #6 in the amount of \$26,350. Motion carried unanimously.
- e. Review and recommend approval of a contract with Peterson Sanitation Inc. for Recyclable and Non-Recyclable Solid Waste Collection, Hauling, Disposal and/or Processing Services – Pinion presented the background to the Committee. He said staff has been working the last few weeks putting together a contract with Peterson, which has been sent through the City's legal department and that is what the Committee is seeing here. He said that a draft has been sent to Peterson and they have no objections, so if the City is inclined to approve this in its final form it would be sent to Peterson for execution. He said the date of the agreement has been left blank, if the agreement is looked at by the Council on April 9, we are hopeful that it may be as early as the 6th of May, but we need confirmation from Peterson before we fill in the blank. It was stated that the sale of the trucks is not part of the contract and will be done on separate negotiations. Olson asked the procedure to cancel the contract. Pinion said that either party breaches any provision of the agreement, such as if the City didn't provide new addresses could be deemed a breach, then if we didn't fix it within 30 days of being giving notice then the party who is offended by this or claims there is a default can cancel the contract, can terminate it as of any date that is selected

providing it is at least 60 days after the 30 days of default. It was moved by Ellington, seconded by Olson to recommend approval of a contract with Peterson Sanitation, Inc for Recyclable and Non-Recyclable Solid Waste Collection, Hauling, Disposal and/or Processing Services. Motion carried unanimously.

- f. Review and recommend approval to execute a Release and Declaration of Deed Restriction for Tax Parcel No.'s 206-0925-00000 and 206-0925-00100, located at 1101 and 1105 Lake Street, respectively – Pinion presented the history and background to the Committee. Olson moved, Ellington seconded to recommend approval to execute a Release and Declaration of Deed Restriction for the above mentioned tax parcels as presented. Motion carried unanimously.
- g. Review and recommendation to the Common Council to create Section 7.165, All-Terrain/Utility Terrain Vehicles in the General Code of Ordinances – Kolb said that the a person born on or after January 1, 1988 had to have a Safety Certificate was added. Bob Spencer then explained the Safety Certificate to the Committee. Chief Sinden then presented the three options for ATV/UTV routes in the City that the subcommittee came up with; Option A would be all City, with the exception of Hwy 33, or 8th Street and 8th Avenue; Option B would be for limited routes; Option C would be no routes. Sinden said what the committee felt what that there was no way that 8th Street and 8th Avenue was safe for ATV/UTVs. He said that Option 2, limited routes, he said what the subcommittee was really looking was ways to connect with existing routes, if the Council chose to go with a limited route option. He said one of the suggestions from Kolb for Option B was to open up Water Street from South Blvd., to continue to Washington up to 10th and 10th to Hwy. T. Sinden said that it was thought that the City would have to petition the DOT for an allowance to allow them on state highways. Spencer said that as long as the state highway falls within the jurisdiction and territorial boundaries within the City and is 35 mph the City can authorize those route. He said that the City would have to apply for a signage program from the DOT for approval where the signage can be installed. Pinion said that he isn't sure that is correct because these are connecting highways and the City maintains them, we have exclusive rights over signage and permits, the only thing the City can't mess with is their access control. Sinden's fear in the limited route option turns individuals who wants to ride legally into those individuals who will be riding illegally because the route doesn't come right though past their house. Kolb hopes to turn this over to the Council with several options. He feels that more input is needed from Council. Spencer said one of the issues they have is Old Lake Road, there is a short section from Matt's Ferry Road going to Kessler Road, that is the only legal access into Greenfield Township and Merrimac Township and the Village is going that; however, we can't come back that way because the east side of the road is in the City of Baraboo. Committee was in agreement to add this suggested section to the limited route option. Kolb asked Spencer if the City went with the limited route option how many signs would be needed. Spencer explained the signage, saying probably four signs for every intersection that you come to in the City. Kolb asked Spencer how many ATV users actually live in the City limits, Spencer said he knew of 25-30. Kolb felt that that if all streets were open in the City and the club stated that they would purchase the signs, it should be written into the ordinance. Kolb said that on the designated routes, "except 8th Avenue/Street" should be added to the ordinance. After a lengthy discussion regarding route options, Kolb said that the Committee will present the Council with the three route options. It was moved by Ellington, seconded by Olson to present the draft ordinance to Council after consultation with the attorney regarding sub b and sub c. Motion carried unanimously.
- h. Review and approval of monthly Billing Adjustments/Credits for Sewer and Water Customers for March 2024 – It was moved by Ellington, seconded by Olson to approve the monthly Billing Adjustments/Credits as presented. Motion carried unanimously.

Kolb said that this is his last meeting with Public Safety and thanks Bob Spencer and Dave Hyzer for their active participation in the discussions. He also thanked Pinion, Gilman, Peterson, and Sinden for all the time that they have given him and helped him with.

Reports

- a. Utility Superintendent's Report
 - i. Staffing Updates – None
 - ii. Project Updates – Peterson said life is revolving around 8th Street. He said the railroad project is still in limbo.
- b. Street Superintendent's Report
 - i. Staffing Updates –
 - ii. Monthly Activity Report – Gilman said the department is busy with stump grinding. He said that the department was able to harvest approximately 5,000 yards of topsoil from the Greenfield Estates development, with more available as time permits.

- iii. Equipment Report – Gilman said we are scheduled to replace two plow trucks and one haul truck in 2025, through River States Truck and Trailer, we were able to secure 2024 pricing on the trucks scheduled for replacement with nothing due until 2025 budget cycle. He said this is a savings of just under \$21,000.

c. Police Chief's Report

- i. Staffing Updates – Sinden said the department is at fully authorized staffing level, with one still in the academy. He said that the officer that another department was doing a background check on as decided to stay in Baraboo.
- ii. Case/Response Update – Sinden said overall case load is a bit down from last year. Sinden said that the truancies at the Middle School are not being reported. Kolb congratulated the department on the diminished use of force reports.

Peterson said that the utility offices will be closed on Wednesday, staff will all be going to LaCrosse.

Information Items

- a. STH 33 Reconstruction Project – Status Report – No update.

AJOURNMENT – There being no further business, Kolb declared the meeting adjourned at 3:09 p.m.

Respectfully submitted,

Tom Kolb, Chairman